



**GENERAL NOTES**

\* THIS SPECIFIC PURPOSE SURVEY IS FOR THE LEASED PREMISES AND EASEMENTS ONLY. THIS SPECIFIC PURPOSE SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF COMMUNICATIONS TOWER GROUP LLC AND EXCLUSIVELY FOR THE TRANSFERRAL OF THE LEASED PREMISES AND THE RIGHTS OF EASEMENT SHOWN HEREON AND SHALL NOT BE USED AS AN EXHIBIT OR EVIDENCE IN THE FEE SIMPLE TRANSFERRAL OF THE PARENT PARCEL NOR ANY PORTION OR PORTIONS THEREOF. BOUNDARY INFORMATION SHOWN HEREON HAS BEEN COMPILED FROM TAX MAPS AND DEED DESCRIPTIONS ONLY. NO BOUNDARY SURVEY OF THE PARENT PARCEL WAS PERFORMED.

THIS DRAWING DOES NOT REPRESENT A BOUNDARY SURVEY.

EQUIPMENT USED FOR ANGULAR & LINEAR MEASUREMENTS: LEICA TPS 1200 ROBOTIC & GEOMAX ZENITH 35. [DATE OF LAST FIELD VISIT: 04/14/2021]

THE 1' CONTOURS AND SPOT ELEVATIONS SHOWN ON THIS SPECIFIC PURPOSE SURVEY ARE ADJUSTED TO NAVD 88 DATUM (COMPUTED USING GEOID18) AND HAVE A VERTICAL ACCURACY OF ± 0.5'. CONTOURS OUTSIDE THE IMMEDIATE SITE AREA ARE APPROXIMATE.

BEARINGS SHOWN ON THIS SPECIFIC PURPOSE SURVEY ARE BASED ON NC GRID NORTH (NAD 83).

PER THE FEMA FLOODPLAIN MAPS, THE SITE IS LOCATED IN AN AREA DESIGNATED AS SHADED ZONE X (AREA OF 0.2% ANNUAL CHANCE FLOOD HAZARD). COMMUNITY PANEL NO.: 3720313100K DATED: 08/28/2018. HOWEVER, BASED ON SITE ELEVATIONS, IT APPEARS THE SITE COULD BE LOCATED IN FLOOD ZONE "AE" (BASE FLOOD ELEVATION = 9')

NO WETLAND AREAS HAVE BEEN INVESTIGATED BY THIS SPECIFIC PURPOSE SURVEY.

ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS.

ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEES THAT ANY UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT ANY UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED ANY UNDERGROUND UTILITIES.

**SURVEYOR CERTIFICATION**

I HEREBY CERTIFY THAT THIS MAP IS CORRECT AND WAS DRAWN UNDER MY DIRECT SUPERVISION. ANY VISIBLE ENCROACHMENTS ARE SHOWN HEREON.

*G. Darrell Taylor* DATE: 04/27/2021  
G. DARRELL TAYLOR, NORTH CAROLINA PROFESSIONAL LAND SURVEYOR #L-3729  
POINT TO POINT LAND SURVEYORS, INC.

THIS MAP MAY NOT BE A CERTIFIED SURVEY AND HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS AND HAS NOT BEEN REVIEWED FOR COMPLIANCE WITH RECORDING REQUIREMENTS FOR PLATS.

**GPS NOTES**

THE FOLLOWING GPS STATISTICS UPON WHICH THIS SURVEY IS BASED HAVE BEEN PRODUCED AT THE 95% CONFIDENCE LEVEL:

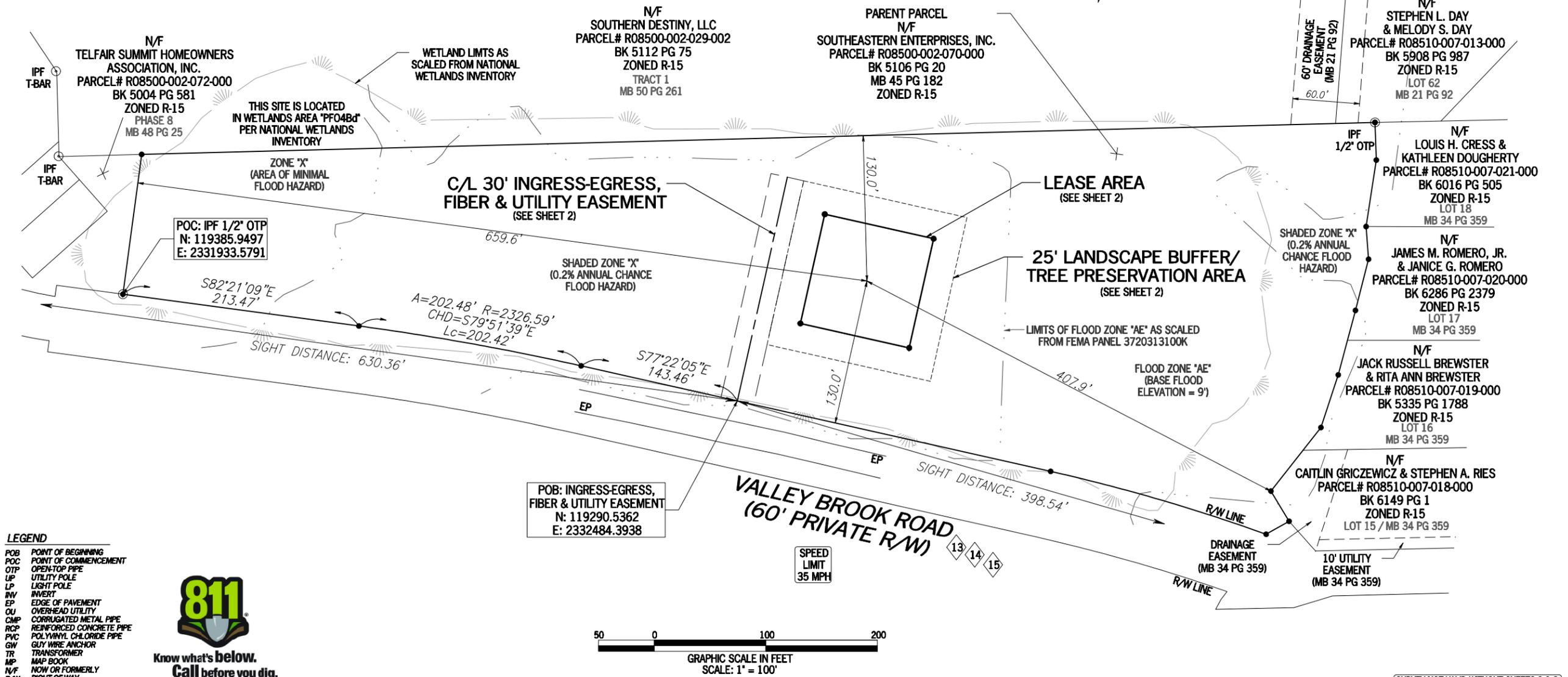
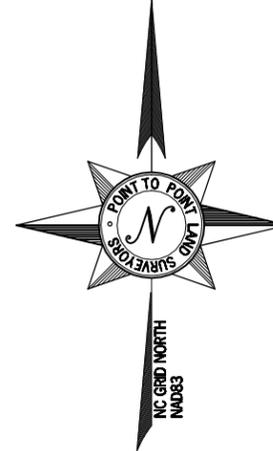
POSITIONAL ACCURACY: 0.07 FEET (HORZ) 0.10 FEET (VERT)  
TYPE OF EQUIPMENT: GEOMAX ZENITH35 PRO BASE AND ROVER, DUAL FREQUENCY  
TYPE OF GPS FIELD PROCEDURE: REAL-TIME KINEMATIC NETWORKS  
DATES OF SURVEY: 04/14/2021  
DATUM / EPOCH: NAD\_83(2011)EPOCH:2010.0000  
PUBLISHED / FIXED CONTROL USE: N/A  
GEOID MODEL: 18  
COMBINED GRID FACTOR(S): 1.00008432  
CONVERGENCE ANGLE: 00°38'01.87"  
BENCHMARKS USED: ADJUSTED NETWORK SOLUTION USING LEICA SMARTNET REFERENCE STATION NETWORK

**PARENT PARCEL**

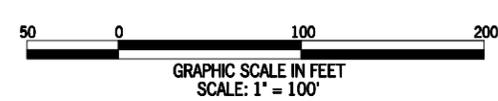
OWNER: SOUTHEASTERN ENTERPRISES, INC.  
SITE ADDRESS: VALLEY BROOK ROAD, WILMINGTON, NC 28412  
PARCEL ID: R08500-002-070-000  
AREA: 5.94 ACRES (PER TAX ASSESSOR)  
ZONED: R-15  
ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS  
REFERENCE: 1) BOOK 5106 PAGE 20  
2) MAP BOOK 45 PAGE 182



**VICINITY MAP**  
NOT TO SCALE



- LEGEND**
- POB POINT OF BEGINNING
  - POC POINT OF COMMENCEMENT
  - OTP OPEN-TOP PIPE
  - UP UTILITY POLE
  - LP LIGHT POLE
  - INV INVERT
  - EP EDGE OF PAVEMENT
  - OU OVERHEAD UTILITY
  - CMP CORRUGATED METAL PIPE
  - RCR REINFORCED CONCRETE PIPE
  - PVC POLYVINYL CHLORIDE PIPE
  - GW GUY WIRE ANCHOR
  - TR TRANSFORMER
  - MP MAP BOOK
  - N/F NOW OR FORMERLY
  - R/W RIGHT-OF-WAY



NO.	DATE	REVISION

POINT TO POINT LAND SURVEYORS  
Firm License Number: C-4145  
100 Governors Trace, Ste. 103  
Peachtree City, GA 30269  
(p) 678.565.4440 (f) 678.565.4497  
(w) p2pls.com



SPECIFIC PURPOSE SURVEY PREPARED FOR:

**CTG**  
COMMUNICATIONS TOWER GROUP, LLC  
15720 BRIDHAM HILL AVE, SUITE 300  
CHARLOTTE, NC 28277

THE CAPE BLVD.  
CTG-NC 0010081

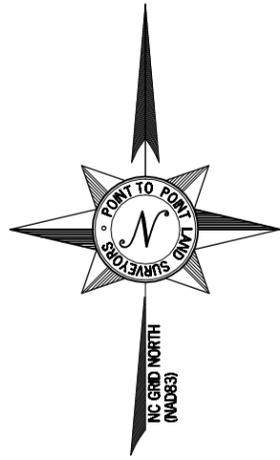
FEDERAL POINT TOWNSHIP  
NEW HANOVER COUNTY  
NORTH CAROLINA

DRAWN BY: NRW  
CHECKED BY: JKL  
APPROVED: D. MILLER  
DATE: APRIL 27, 2021  
P2P JOB #: 210496NC

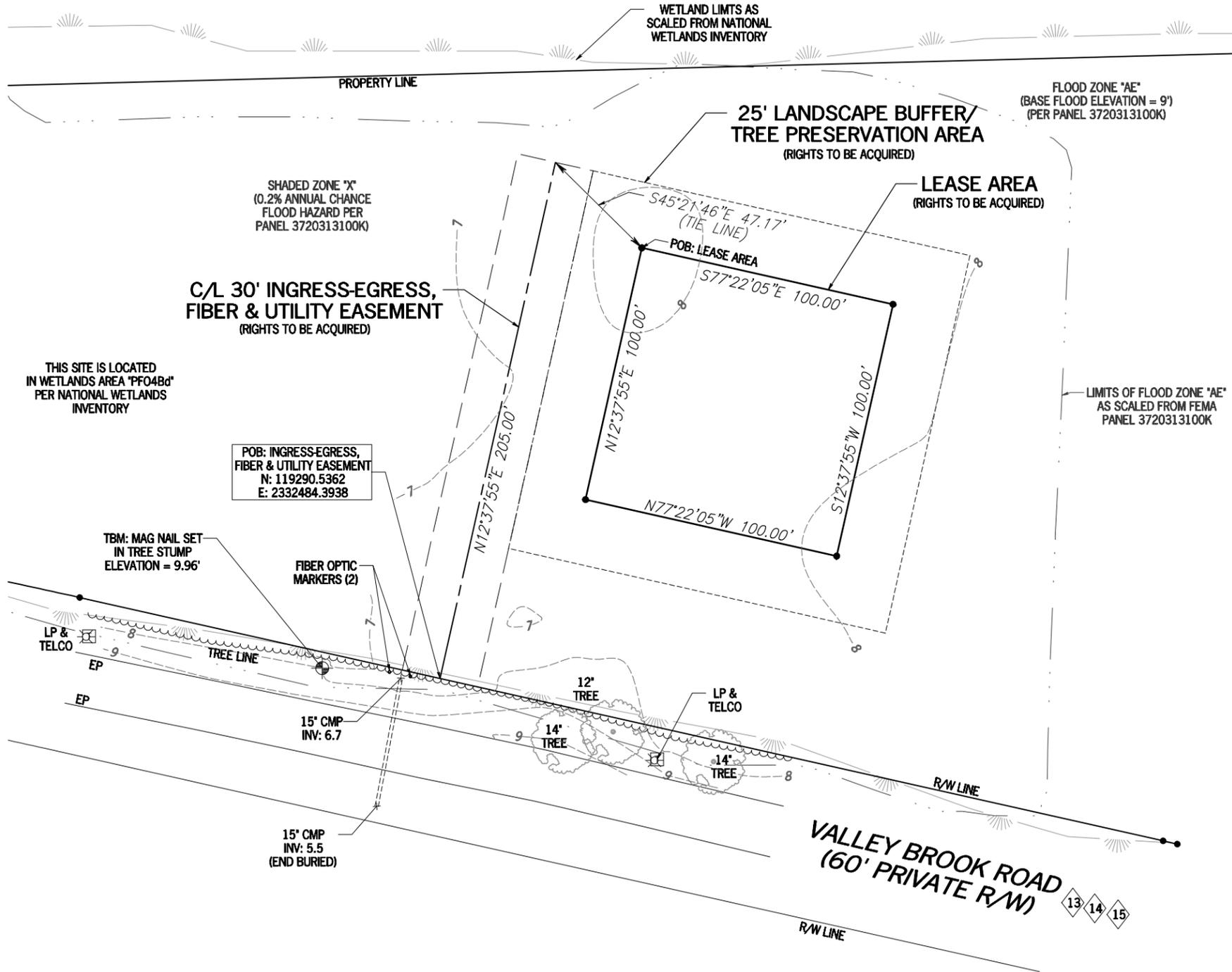
SHEET:  
**1**  
OF 3

SURVEY NOT VALID WITHOUT SHEETS 2 & 3

E:\Dropbox (Point to Point)\P2P Current Jobs\2021\210496NC\The Cape Blvd\210496NC.dwg



NO.	DATE	REVISION



**SITE INFORMATION**

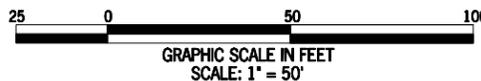
LEASE AREA = 10,000 SQUARE FEET (0.2296 ACRES)  
 LATITUDE = 34°04'22.77" (NAD 83) (34.072992°)  
 LONGITUDE = -77°54'06.46" (NAD 83) (-77.901794°)  
 AT CENTER OF LEASE AREA  
 ELEVATION AT CENTER OF LEASE AREA = 7.4' A.M.S.L.

THIS SITE IS LOCATED  
 IN WETLANDS AREA "PFO4Bd"  
 PER NATIONAL WETLANDS  
 INVENTORY

POB: INGRESS-EGRESS,  
 FIBER & UTILITY EASEMENT  
 N: 119290.5362  
 E: 2332484.3938

**LEGEND**

- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- OTP OPEN-TOP PIPE
- UP UTILITY POLE
- LP LIGHT POLE
- INV INVERT
- EP EDGE OF PAVEMENT
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- GW GUY WIRE ANCHOR
- TR TRANSFORMER
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- N/F NOW OR FORMERLY
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 100 Governors' Trace, Ste. 103  
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FEDERAL POINT TOWNSHIP  
 NEW HANOVER COUNTY  
 NORTH CAROLINA

DRAWN BY: NRW

CHECKED BY: JKL

APPROVED: D. MILLER

DATE: APRIL 27, 2021

P2P JOB #: 210496NC

SHEET:

**2**

OF 3

SURVEY NOT VALID WITHOUT SHEETS 1 & 3

E:\Projects\Point To Point\2021\210496NC\The Cape Blvd\210496NC.dwg

**PARENT PARCEL**

**(AS PROVIDED IN COMMITMENT 01-20079710-01T)**

SITUATED IN THE COUNTY OF NEW HANOVER, STATE OF NORTH CAROLINA:

THOSE TRACTS BORDERING ON VALLEY BROOK ROAD SHOWN AS 5.94 ACRES FUTURE DEVELOPMENT AND COMMON AREA - CONSERVATION AREA ON THAT PLAT RECORDED IN MAP BOOK 45 AT PAGE 182 IN THE NEW HANOVER COUNTY REGISTRY.

TAX ID: R08500-002-070-000

BEING THE SAME PROPERTY CONVEYED TO SOUTHEASTERN ENTERPRISES, INC., GRANTEE, FROM TELFAIR SUMMIT, LLC, A NORTH CAROLINA LIMITED LIABILITY COMPANY, GRANTOR, BY DEED RECORDED 11/16/2006, AS BOOK 5106, PAGE 20 OF THE NEW HANOVER COUNTY RECORDS.

**30' INGRESS-EGRESS, FIBER & UTILITY EASEMENT**

TOGETHER WITH A 30-FOOT WIDE INGRESS-EGRESS, FIBER AND UTILITY EASEMENT (LYING 15 FEET EACH SIDE OF CENTERLINE) LYING AND BEING IN FEDERAL POINT TOWNSHIP, NEW HANOVER COUNTY, NORTH CAROLINA, BEING A PORTION OF THE LANDS OF SOUTHEASTERN ENTERPRISES, INC., AS RECORDED IN BOOK 5106 PAGE 20 OF THE NEW HANOVER COUNTY REGISTRY, BEING DESCRIBED BY THE FOLLOWING CENTERLINE DATA:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A ½-INCH OPEN-TOP PIPE FOUND ON THE NORTHERLY RIGHT-OF-WAY LINE OF VALLEY BROOK ROAD (HAVING A 60-FOOT PRIVATE RIGHT-OF-WAY), SAID PIPE MARKING THE SOUTHWEST CORNER THE LANDS DESIGNATED AS THE 5.94 ACRES FUTURE DEVELOPMENT TRACT ON THAT PLAT RECORDED IN MAP BOOK 45 PAGE 182 OF THE NEW HANOVER COUNTY REGISTRY, AND SAID PIPE HAVING A NORTH CAROLINA GRID NORTH, NAD83, VALUE OF N: 119385.9497, E: 2331933.5791; THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY LINE OF VALLEY BROOK ROAD, SOUTH 82°21'09" EAST, 213.47 FEET TO A POINT; THENCE, 202.48 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 2326.59 FEET AND BEING SCRIBED BY A CHORD BEARING, SOUTH 79°51'39" EAST, 202.42 FEET TO A POINT; THENCE, SOUTH 77°22'05" EAST, 143.46 FEET TO A POINT HAVING A NORTH CAROLINA GRID NORTH, NAD83, VALUE OF N: 119290.5362, E: 2332484.3938 AND THE TRUE POINT OF BEGINNING; THENCE LEAVING SAID NORTHERLY RIGHT-OF-WAY LINE OF VALLEY BROOK ROAD AND RUNNING, NORTH 12°37'55" EAST, 205.00 FEET TO THE ENDING AT A POINT.

BEARINGS BASED ON NORTH CAROLINA GRID NORTH, NAD83.

**LEASE AREA**

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN FEDERAL POINT TOWNSHIP, NEW HANOVER COUNTY, NORTH CAROLINA, BEING A PORTION OF THE LANDS OF SOUTHEASTERN ENTERPRISES, INC., AS RECORDED IN BOOK 5106 PAGE 20 OF THE NEW HANOVER COUNTY REGISTRY, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A ½-INCH OPEN-TOP PIPE FOUND ON THE NORTHERLY RIGHT-OF-WAY LINE OF VALLEY BROOK ROAD (HAVING A 60-FOOT PRIVATE RIGHT-OF-WAY), SAID PIPE MARKING THE SOUTHWEST CORNER THE LANDS DESIGNATED AS THE 5.94 ACRES FUTURE DEVELOPMENT TRACT ON THAT PLAT RECORDED IN MAP BOOK 45 PAGE 182 OF THE NEW HANOVER COUNTY REGISTRY, AND SAID PIPE HAVING A NORTH CAROLINA GRID NORTH, NAD83, VALUE OF N: 119385.9497, E: 2331933.5791; THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY LINE OF VALLEY BROOK ROAD, SOUTH 82°21'09" EAST, 213.47 FEET TO A POINT; THENCE, 202.48 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 2326.59 FEET AND BEING SCRIBED BY A CHORD BEARING, SOUTH 79°51'39" EAST, 202.42 FEET TO A POINT; THENCE, SOUTH 77°22'05" EAST, 143.46 FEET TO A POINT HAVING A NORTH CAROLINA GRID NORTH, NAD83, VALUE OF N: 119290.5362, E: 2332484.3938; THENCE LEAVING SAID NORTHERLY RIGHT-OF-WAY LINE OF VALLEY BROOK ROAD AND RUNNING, NORTH 12°37'55" EAST, 205.00 FEET TO A POINT; THENCE ALONG A TIE LINE, SOUTH 45°21'46" EAST, 47.17 FEET TO A POINT AND THE TRUE POINT OF BEGINNING; THENCE RUNNING, SOUTH 77°22'05" EAST, 100.00 FEET TO A POINT; THENCE, SOUTH 12°37'55" WEST, 100.00 FEET TO A POINT; THENCE, NORTH 77°22'05" WEST, 100.00 FEET TO A POINT; THENCE, NORTH 12°37'55" EAST, 100.00 FEET TO A POINT AND THE POINT OF BEGINNING.

BEARINGS BASED ON NORTH CAROLINA GRID NORTH, NAD83.

SAID TRACT CONTAINS 0.2296 ACRES (10,000 SQUARE FEET), MORE OR LESS.

**TITLE EXCEPTIONS**

THIS SURVEY WAS COMPLETED WITH THE AID OF TITLE WORK PREPARED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT DATE OF 07/06/2020 AT 7:00 A.M., BEING COMMITMENT NO. 01-20079710-01T, FOR THE PARENT PARCEL, TO DETERMINE THE IMPACTS OF EXISTING TITLE EXCEPTIONS.

9. RIGHT OF WAY IN FAVOR OF CAROLINA POWER AND LIGHT COMPANY, RECORDED 02/28/1962 IN BOOK 672, PAGE 466 OF NEW HANOVER COUNTY RECORDS.

BECAUSE THE DESCRIPTION OF THIS EASEMENT IS VAGUE, WE ARE UNABLE TO ASCERTAIN THE EXACT LOCATION THEREOF.

10. DECLARATION OF FINAL RESOLUTION OF CLAIM TO SUBMERGED LANDS, RECORDED 07/10/1989, IN BOOK 1462, PAGE 1250 OF THE NEW HANOVER COUNTY RECORDS.

BECAUSE THE DESCRIPTION OF THIS ITEM IS VAGUE, WE ARE UNABLE TO ASCERTAIN THE EXACT LOCATION THEREOF.

11. RIGHT OF WAY IN FAVOR OF CAROLINA POWER AND LIGHT COMPANY, RECORDED 01/04/1995 IN BOOK 1844, PAGE 432 OF NEW HANOVER COUNTY RECORDS.

BECAUSE THE DESCRIPTION OF THIS EASEMENT IS VAGUE, WE ARE UNABLE TO ASCERTAIN THE EXACT LOCATION THEREOF.

12. DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS OF TELFAIR SUMMIT, L.L.C., RECORDED 02/16/1998, IN BOOK 2311, PAGE 417 OF THE NEW HANOVER COUNTY RECORDS.

NOTE: AMENDMENT OF DECLARATION OF RESTRICTIONS OF TELFAIR SUMMIT RECORDED 09/04/1998, AS BOOK 2429, PAGE 573 OF THE NEW HANOVER COUNTY RECORDS.

[THIS ITEM IS APPLICABLE TO THE PARENT PARCEL].

13. AGREEMENT TO MAINTAIN ROADWAY AND ENTRANCE, BY AND BETWEEN TELFAIR SUMMIT HOA, INC. TELFAIR SUMMIT L.L.C., AND TELFAIR FOREST HOMEOWNER'S ASSOCIATION, INC., RECORDED 02/16/1998, IN BOOK 2311, PAGE 719 OF THE NEW HANOVER COUNTY RECORDS.

[THIS ITEM IS APPLICABLE TO VALLEY BROOK ROAD].

14. SUBJECT TO COVENANTS, RESTRICTIONS, RESERVATIONS, EASEMENTS, AND RIGHTS OF WAY AND BUILDING SETBACKS, IF ANY, AS SHOWN ON THE PHASE 1 TELFAIR SUMMIT TOWNHOMES PLAT, AS RECORDED IN PLAT BOOK 37, PAGE 317, RECORDED DATE 01/19/1998 IN NEW HANOVER COUNTY RECORDS.

[THIS ITEM IS APPLICABLE TO THE PARENT PARCEL].

15. SUBJECT TO COVENANTS, RESTRICTIONS, RESERVATIONS, EASEMENTS, AND RIGHTS OF WAY AND BUILDING SETBACKS, IF ANY, AS SHOWN ON THE PHASE 7 TELFAIR SUMMIT TOWNHOMES PLAT, AS RECORDED IN PLAT BOOK 45, PAGE 182, RECORDED DATE 01/28/2004 IN NEW HANOVER COUNTY RECORDS.

[THIS ITEM IS APPLICABLE TO THE PARENT PARCEL].



NO.	DATE	REVISION

\* SPECIFIC PURPOSE SURVEY PREPARED BY:

**POINT TO POINT LAND SURVEYORS**

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CTG-NC 0010081

FEDERAL POINT TOWNSHIP  
NEW HANOVER COUNTY  
NORTH CAROLINA

DRAWN BY: NRW	SHEET:
CHECKED BY: JKL	<b>3</b>
APPROVED: D. MILLER	
DATE: APRIL 27, 2021	
P2P JOB #: 210496NC	
	OF 3

**2018 APPENDIX B  
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS  
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)**

(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: CTG RAW-LAND MONOPOLE - THE CAPE BLVD-NC-0010081  
 Address: 902 THE CAPE BLVD WILMINGTON, NC Zip Code 28412  
 Owner/Authorized Agent: PM&A; TREVOR MCALLISTER Phone # ( 678 ) 280 - 2325 E-Mail \_\_\_\_\_  
 Owned By:  City/County  Private  State  
 Code Enforcement Jurisdiction:  City \_\_\_\_\_  County NEW HANOVER  State

**CONTACT:** P. MARSHALL & ASSOCIATES

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Architectural				( )	
Civil	<u>P. MARSHALL &amp; ASSOCIATES</u>	<u>PATRICK MARSHALL</u>	<u>024136</u>	<u>(678) 280-2325</u>	
Electrical				( )	
Fire Alarm				( )	
Plumbing				( )	
Mechanical				( )	
Sprinkler-Standpipe				( )	
Structural				( )	
Retaining Walls >5' High				( )	
Other	<u>P. MARSHALL &amp; ASSOCIATES</u>	<u>TREVOR MCALLISTER</u>		<u>(478) 542-329</u>	<u>TMCALLISTER@PMASS.COM</u>

("Other" should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)

**2018 NC BUILDING CODE:**  New Building  Shell/Core  1<sup>st</sup> Time Interior Completions  
 Addition  Phased Construction – Shell Core

**2018 NC EXISTING BUILDING CODE:**  Prescriptive  Alteration Level I  Historic Property  
 (check all that apply)  Repair  Alteration Level II  Change of Use  
 Chapter 14  Alteration Level III

**CONSTRUCTED:** (date) \_\_\_\_\_ **CURRENT OCCUPANCY(S)** (Ch. 3): \_\_\_\_\_  
**RENOVATED:** (date) \_\_\_\_\_ **PROPOSED OCCUPANCY(S)** (Ch. 3): \_\_\_\_\_

**OCCUPANCY CATEGORY** (Table 1604.5): **Current:** \_\_\_\_\_ **Proposed:** \_\_\_\_\_

**BASIC BUILDING DATA**  
**Construction Type:**  I-A  II-A  III-A  IV  V-A  
 (check all that apply)  I-B  II-B  III-B  V-B  
**Sprinklers:**  No  Partial  NFPA 13  NFPA 13R  NFPA 13D  
**Standpipes:**  No  Class  I  II  III  Wet  Dry  
**Primary Fire District:**  No  Yes **Flood Hazard Area:**  No  Yes  
**Special Inspections Required:**  No  Yes

**GROSS BUILDING AREA TABLE**

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL
3 <sup>rd</sup> Floor			
2 <sup>nd</sup> Floor			
Mezzanine			
1 <sup>st</sup> Floor			
Basement			
TOTAL			

**ALLOWABLE AREA**

**Primary Occupancy Classification(s):**

Assembly  A-1  A-2  A-3  A-4  A-5  
 Business   
 Educational   
 Factory  F-1 Moderate  F-2 Low  
 Hazardous  H-1 Detonate  H-2 Deflagrate  H-3 Combust  H-4 Health  H-5 HPM  
 Institutional  I-1  I-2  I-3  I-4  
 I-1 Condition  1  2  
 I-2 Condition  1  2  
 I-3 Condition  1  2  3  4  5  
 Mercantile   
 Residential  R-1  R-2  R-3  R-4  
 Storage  S-1 Moderate  S-2 Low  High-piled  
 Parking Garage  Open  Enclosed  Repair Garage  
 Utility and Miscellaneous

**Accessory Occupancy Classification(s):** \_\_\_\_\_  
**Incidental Uses** (Table 509): \_\_\_\_\_  
 This separation is not exempt as a Non-Separated Use (see exceptions).  
**Special Uses** (Chapter 4 – List Code Sections): \_\_\_\_\_  
**Special Provisions:** (Chapter 5 – List Code Sections): \_\_\_\_\_  
**Mixed Occupancy:** Select one Separation: Select one Exception: \_\_\_\_\_  
 Select one  

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$

STORY NO.	DESCRIPTION AND USE	(A)	(B)	(C)	(D)
		BLDG AREA PER STORY (ACTUAL)	TABLE 506.2 <sup>4</sup> AREA	AREA FOR FRONTAGE INCREASE <sup>1,5</sup>	ALLOWABLE AREA PER STORY OR UNLIMITED <sup>2,3</sup>

<sup>1</sup> Frontage area increases from Section 506.2 are computed thus:  
 a. Perimeter which fronts a public way or open space having 20 feet minimum width = \_\_\_\_\_ (F)  
 b. Total Building Perimeter = \_\_\_\_\_ (P)  
 c. Ratio (F/P) = \_\_\_\_\_ (F/P)  
 d. W = Minimum width of public way = \_\_\_\_\_ (W)  
<sup>2</sup> Unlimited area applicable under conditions of Section 507.  
<sup>3</sup> Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).  
<sup>4</sup> The maximum area of open parking garages must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1.  
<sup>5</sup> Frontage increase is based on the unsprinklered area value in Table 506.2.

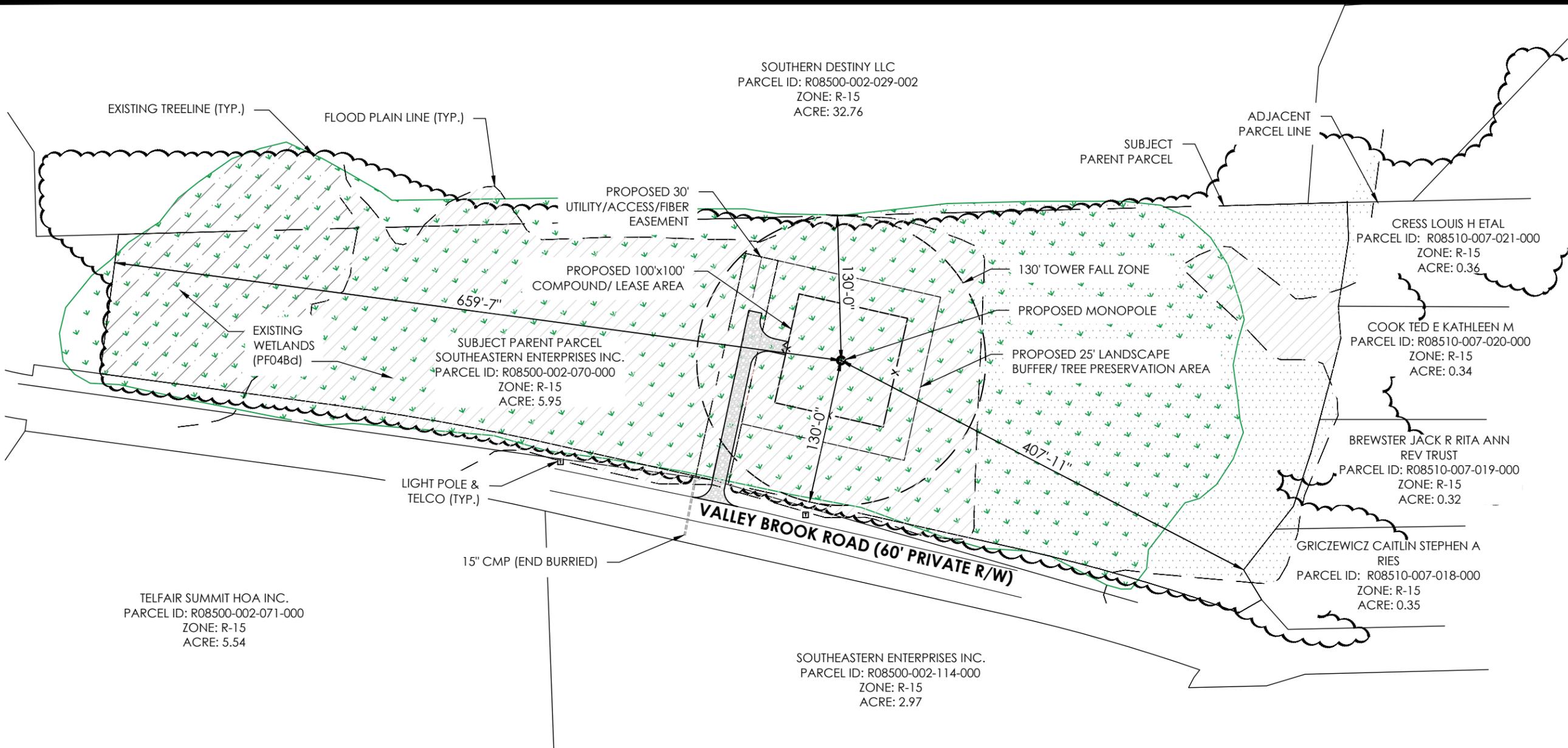
**LOCATION:**  
 34.072992 , -77.901794  
**NEAREST ADDRESS:**  
 902 THE CAPE BLVD,  
 WILMINGTON, NC 28412  
**THE CAPE BLVD.**  
 CTG-NC 0010081

NO.	DATE	DESCRIPTION
A	5/12/21	FINAL

**PROJECT:**  
 SITE DEVELOPMENT  
**DESIGNER:** INS  
**CHECKED:** JTM  
**JOB #:** 20KCG\_NNC-0017







LOCATION:  
 34.072992 , -77.901794  
 NEAREST ADDRESS:  
 902 THE CAPE BLVD,  
 WILMINGTON, NC 28412  
**THE CAPE BLVD.**

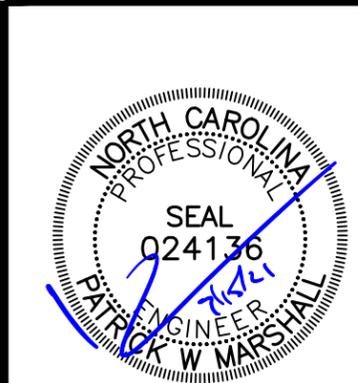
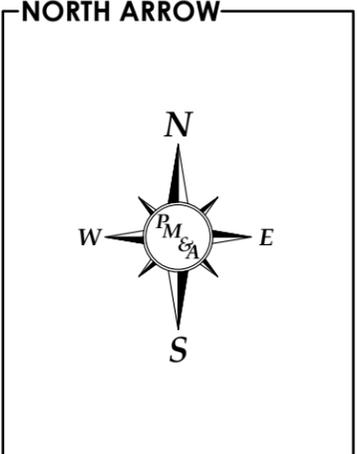
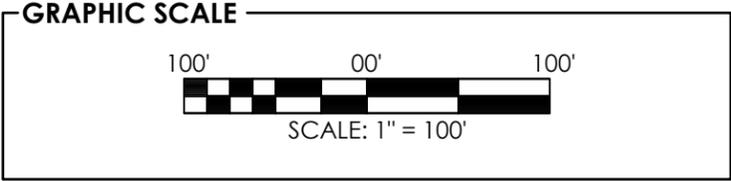
CTG-NC 0010081

NO.	DATE	DESCRIPTION
A	5/12/21	FINAL
B	7/15/21	REVISION

PROJECT:  
 SITE DEVELOPMENT  
 DESIGNER: INS  
 CHECKED: JTM  
 JOB #: 20KCG\_NNC-0017

**OVERALL SITE PLAN**

- GENERAL NOTES**
- SITE PLAN SHOWN WAS TAKEN FROM SURVEY INFORMATION PROVIDED BY POINT TO POINT LAND SURVEYORS, INC. CONTRACTOR TO VERIFY ALL EXISTING INFORMATION IS INDICATED ON SITE PLAN. CONTRACTOR IS TO ESTABLISH THE EXISTENCE AND LOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES. IMMEDIATELY NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES.
  - PARCEL DATA SHOWN WAS TAKEN FROM INFORMATION PROVIDED BY POINT TO POINT LAND SURVEYORS, INC & NEW HANOVER COUNTY GIS, PROPERTY INFORMATION RESEARCH WEB SITE.
  - EXISTING WETLANDS ON SITE DESIGNATED AS FRESHWATER FORESTED/SHRUB WETLAND (PFO4Bd)
  - ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES BY NORTH CAROLINA STATE CODE.
  - PROPOSED ROUTES ARE SHOWN AS SCHEMATIC.
  - HAND DIG ALL EXISTING UTILITIES DEEPER THAN 12" TO LOCATE



LOCATION:

34.072992, -77.901794

NEAREST ADDRESS:

902 THE CAPE BLVD,  
WILMINGTON, NC 28412

**THE CAPE BLVD.**

CTG-NC 0010081

NO.	DATE	DESCRIPTION
A	5/12/21	FINAL

PROJECT:

SITE DEVELOPMENT

DESIGNER:

INS

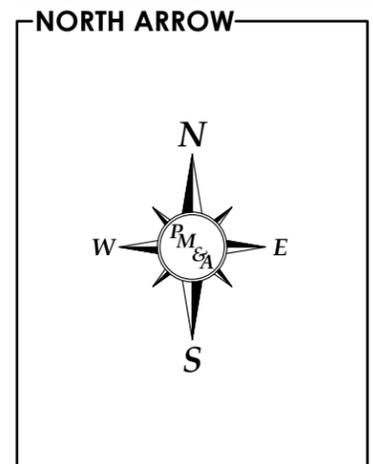
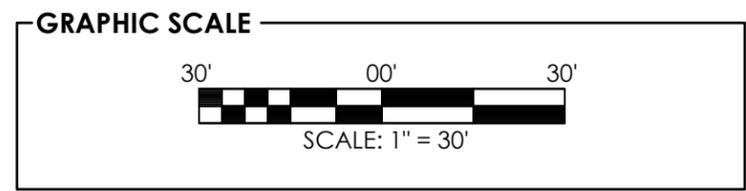
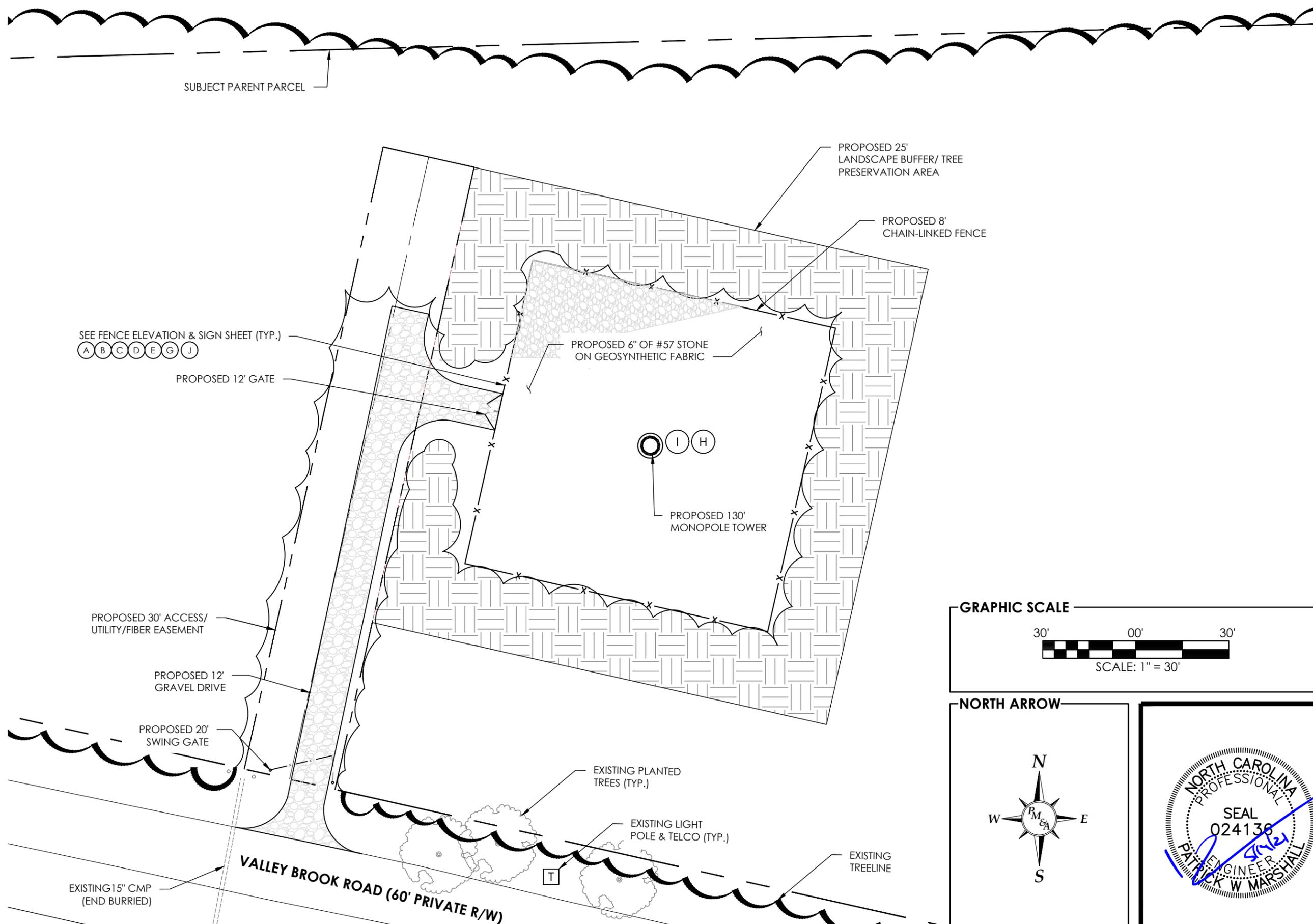
CHECKED:

JTM

JOB #:

20KCG\_NNC-0017

**ENLARGED  
SITE PLAN**



LOCATION:

34.072992, -77.901794

NEAREST ADDRESS:

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WILMINGTON, NC 28412

**THE CAPE BLVD.**

CTG-NC 0010081

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PROJECT:  
SITE DEVELOPMENT

DESIGNER: INS  
CHECKED: JTM  
JOB #: 20KCG\_NNC-0017

**COMPOUND PLAN**

C-3

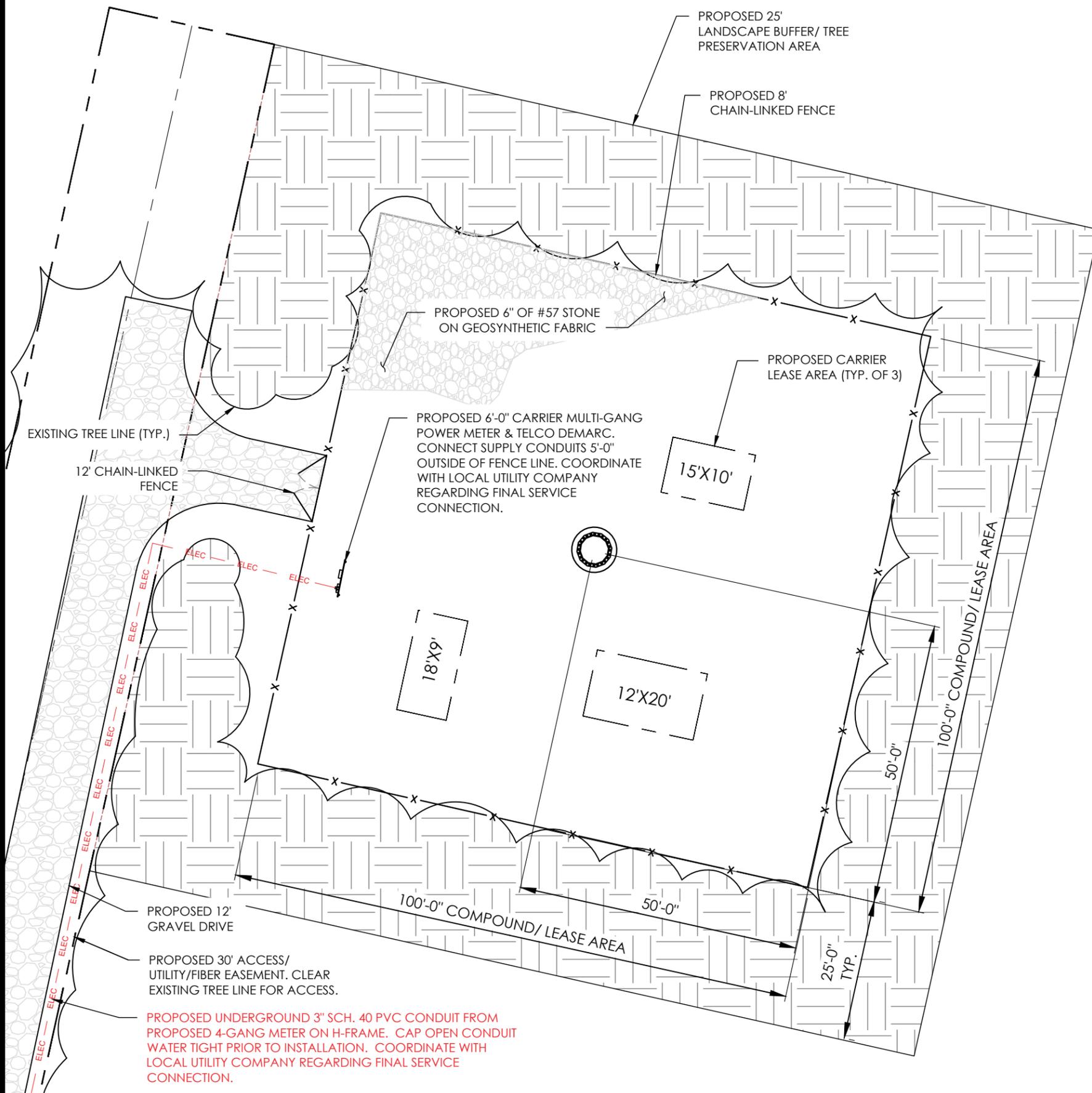
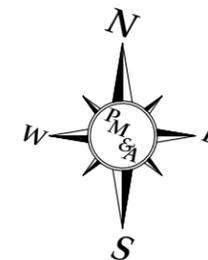
**GENERAL NOTES**

1. ALL MATERIAL AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY. FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND ENGINEER PRIOR TO INSTALLATION. CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND OF QUALITY OF MATERIAL AND EQUIPMENT BEING SUBSTITUTED.
2. ACCESS TO PROPOSED WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE INTENDED CONSTRUCTION ACTIVITY, INCLUDING WORK SCHEDULE AND MATERIALS ACCESS WITH THE LEASING AGENT FOR APPROVAL.
3. CONTRACTOR SHALL HAVE PRESENT ON SITE CURRENT CARRIER SUPPLIED INFORMATION PRIOR TO COMMENCE OF WORK; IE. RFDS, DESIGN DOCUMENTS SPECIFIC TO SITE AND CONFIGURATION. NOTIFY CONSTRUCTION MANAGER OF ANY DISCREPANCY PRIOR TO ARRIVAL AT SITE.
4. ALL HARDWARE ASSEMBLY MANUFACTURER'S INSTRUCTION SHALL BE FOLLOWED EXACTLY AND SHALL SUPERSEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.
5. ALL DAMAGE TO EXISTING UNDERGROUND, OVERHEAD OBSTACLES AND/OR EXISTING EQUIPMENT, PAD OR SHELTERS SHALL BE REPLACED BACK TO FULL ORIGINAL OR BETTER CONDITION & SHALL MATCH EXISTING CONDITIONS BY REPAIRS AT GENERAL CONTRACTOR EXPENSE.
6. THE EXISTING TREES AND VEGETATION ARE SUFFICIENT, UNO, TO PROVIDE THE REQUIRED SCREENING PER LOCAL ORDINANCE. IF THE VEGETATION IS REMOVED OR DAMAGED, NEW LANDSCAPING/ SCREENING WILL BE INSTALLED TO MEET LOCAL ORDINANCE REQUIREMENTS.

**GRAPHIC SCALE**



**NORTH ARROW**



PROPOSED 25'  
LANDSCAPE BUFFER/ TREE  
PRESERVATION AREA

PROPOSED 8'  
CHAIN-LINKED FENCE

PROPOSED 6" OF #57 STONE  
ON GEOSYNTHETIC FABRIC

PROPOSED CARRIER  
LEASE AREA (TYP. OF 3)

PROPOSED 6'-0" CARRIER MULTI-GANG  
POWER METER & TELCO DEMARC.  
CONNECT SUPPLY CONDUITS 5'-0"  
OUTSIDE OF FENCE LINE. COORDINATE  
WITH LOCAL UTILITY COMPANY  
REGARDING FINAL SERVICE  
CONNECTION.

EXISTING TREE LINE (TYP.)  
12' CHAIN-LINKED  
FENCE

PROPOSED 12'  
GRAVEL DRIVE

PROPOSED 30' ACCESS/  
UTILITY/FIBER EASEMENT. CLEAR  
EXISTING TREE LINE FOR ACCESS.

PROPOSED UNDERGROUND 3" SCH. 40 PVC CONDUIT FROM  
PROPOSED 4-GANG METER ON H-FRAME. CAP OPEN CONDUIT  
WATER TIGHT PRIOR TO INSTALLATION. COORDINATE WITH  
LOCAL UTILITY COMPANY REGARDING FINAL SERVICE  
CONNECTION.

LOCATION:

34.072992 , -77.901794

NEAREST ADDRESS:

902 THE CAPE BLVD,  
WILMINGTON, NC 28412

**THE CAPE BLVD.**

CTG-NC 0010081

NO.	DATE	DESCRIPTION
A	5/12/21	FINAL
B	7/15/21	REVISION

PROJECT:

SITE DEVELOPMENT

DESIGNER: INS

CHECKED: JTM

JOB #: 20KCG\_NNC-0017

TOWER  
ELEVATION

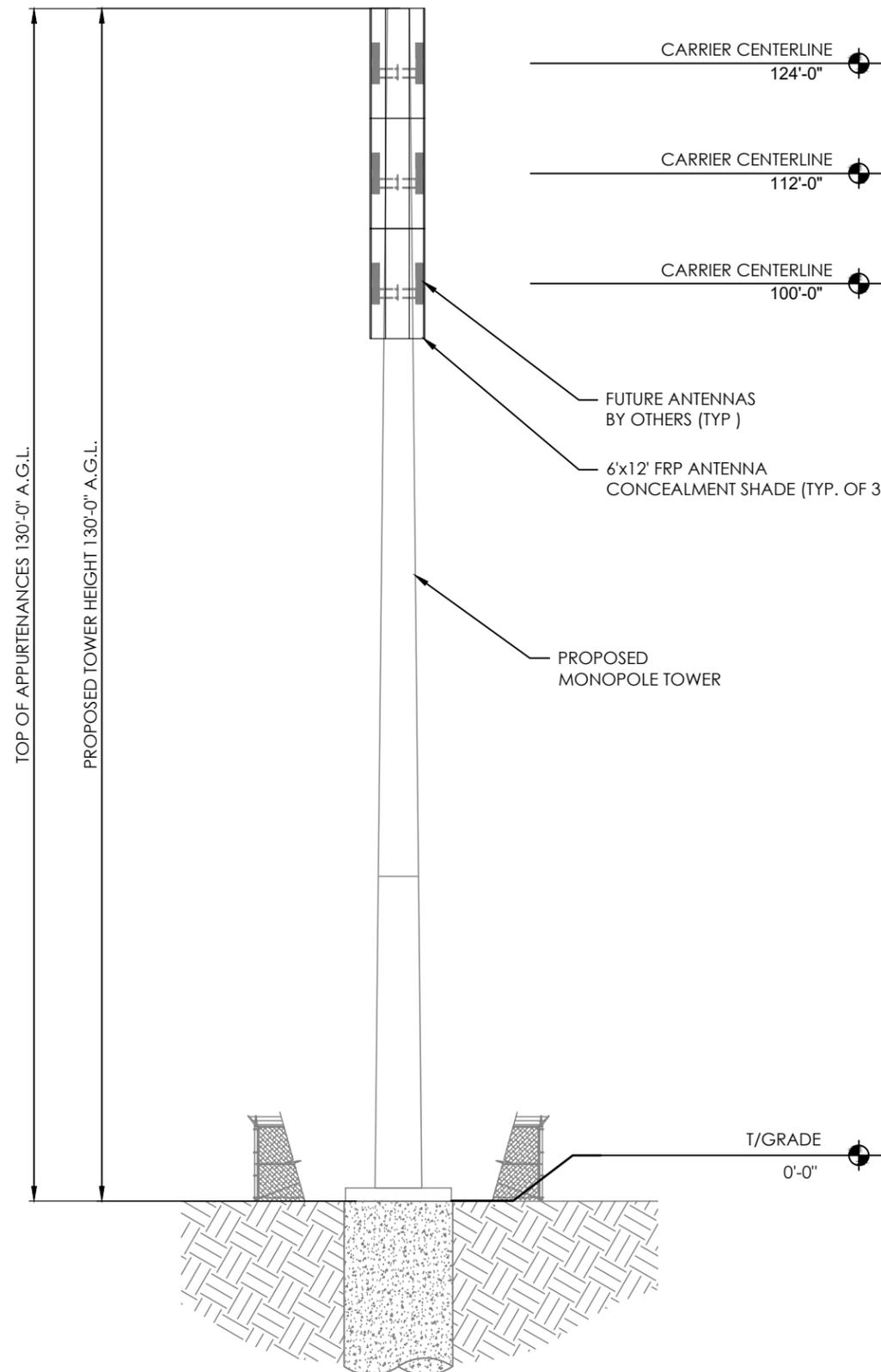
C-4

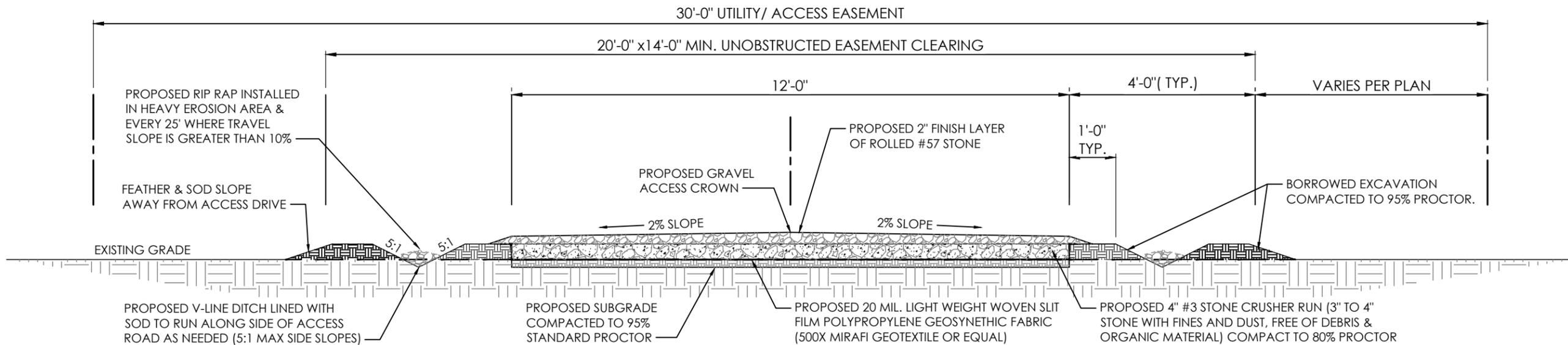
**GENERAL NOTES**

1. REFER TO TOWER STRUCTURAL ANALYSIS FOR PROPOSED ANTENNA CABLE LOADING DETAILS
2. TOWER ELEVATION SHOWN IS NOT DRAWN TO SCALE AND IS ONLY INTENDED FOR REFERENCE PURPOSES. REFER TO ORIGINAL TOWER DESIGN FOR ADDITIONAL INFORMATION.
3. ALL TOWER DIMENSIONS SHALL BE VERIFIED WITH THE PLANS PRIOR TO COMMENCING CONSTRUCTION. NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE DISCOVERED.
4. ALL HARDWARE ASSEMBLY MANUFACTURER'S INSTRUCTIONS SHALL BE FOLLOWED EXACTLY AND SHALL SUPERSEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.
5. ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY AND ALL SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND ENGINEER PRIOR TO INSTALLATION. CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND OF QUALITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.

**FINISH NOTES:**

- |                          |                               |
|--------------------------|-------------------------------|
| TOWER-                   | GALVANIZED                    |
| TOWER MOUNTS-            | GALVANIZED                    |
| ANTENNA-                 | NEUTRAL (MANUFACTURER FINISH) |
| FOUNDATIONS-             | UNPAINTED CONCRETE            |
| ICE BRIDGE-              | GALVANIZED                    |
| CABLES-                  | BLACK                         |
| BASE CABINETS/EQUIPMENT- | NEUTRAL (MANUFACTURER FINISH) |



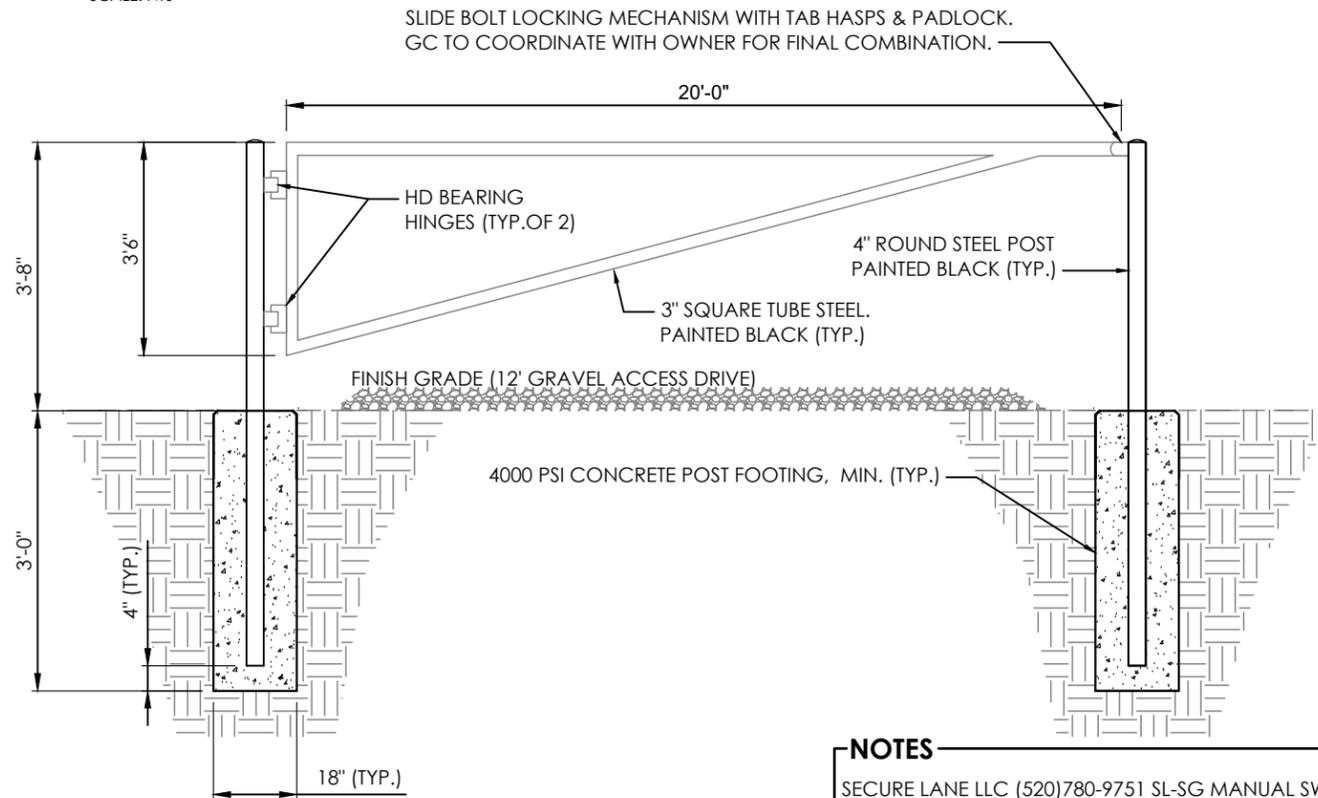


**NOTES**

- AGGREGATE IS BASED ON STANDARD AASHTO
- 2" CROWN IN CENTER OF ACCESS, UNLESS IN CURVES, THEN ACCESS SHOULD BE SLOPED TO INSIDE OF TURN OR CURVE.
- ALL MATERIALS SHALL MEET DOT STANDARD SPECIFICATION FOR ROAD CONSTRUCTION.
- GRAVEL BASE & TOP COURSE DEPTH SHOWN AS MIN. INCREASE DEPTH MAY BE REQUIRED DUE TO POOR SOIL CONDITIONS.
- MAX. GRADE: 123% GREATER THAN MAY REQUIRE PAVED SURFACE.
- PRIVATELY MAINTAINED ROAD ONLY.
- NO POTENTIAL FOR FURTHER DEVELOPMENT. THIS IS NOT A THRU ROAD.

**ACCESS DRIVE**

SCALE: NTS



**NOTES**

SECURE LANE LLC (520)780-9751 SL-SG MANUAL SWING GATE OR SIMILAR. AVAILABLE IN SINGLE SWING OR DUAL SWING @ WWW.BARRIERGATEARM.COM

**ACCESS DRIVE SWING GATE**

SCALE: NTS

LOCATION:

34.072992 , -77.901794

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**THE CAPE BLVD.**

CTG-NC 0010081

NO.	DATE	DESCRIPTION
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DESIGNER:

INS

CHECKED:

JTM

JOB #:

20KCG\_NNC-0017



**CONSTRUCTION  
DETAILS- ACCESS**



LOCATION:

34.072992 , -77.901794

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PROJECT:

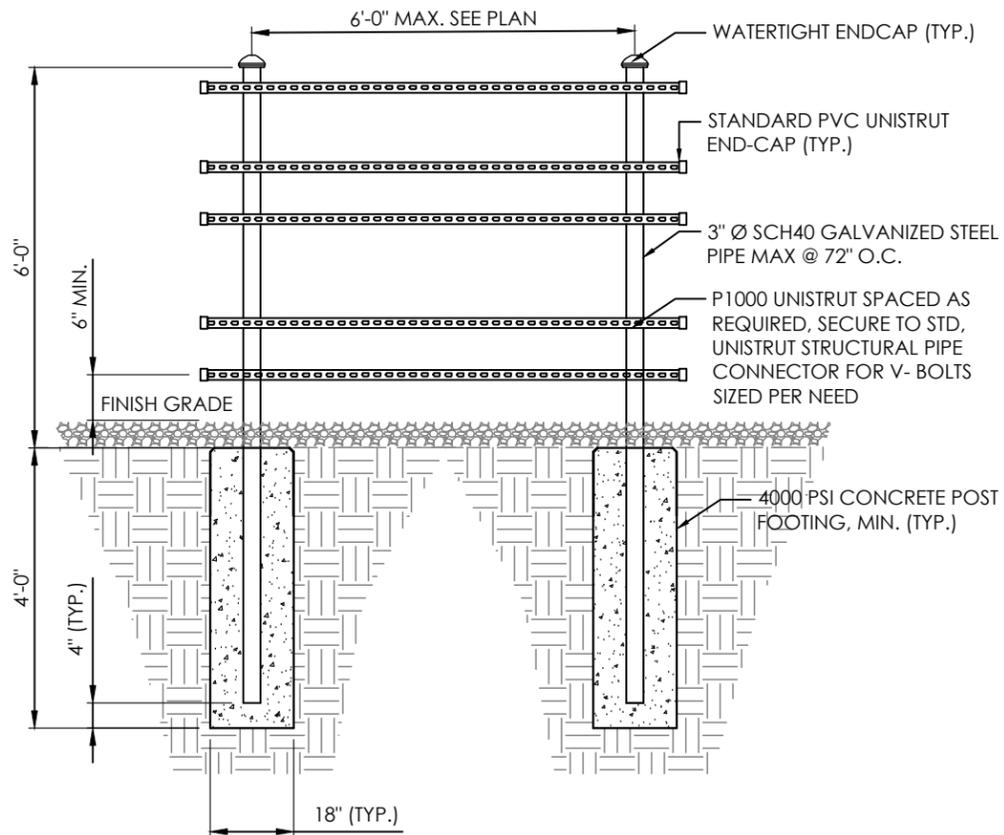
SITE DEVELOPMENT

DESIGNER: INS

CHECKED: JTM

JOB #: 20KCG\_NNC-0017

**CONSTRUCTION  
DETAILS-  
COMPOUND**

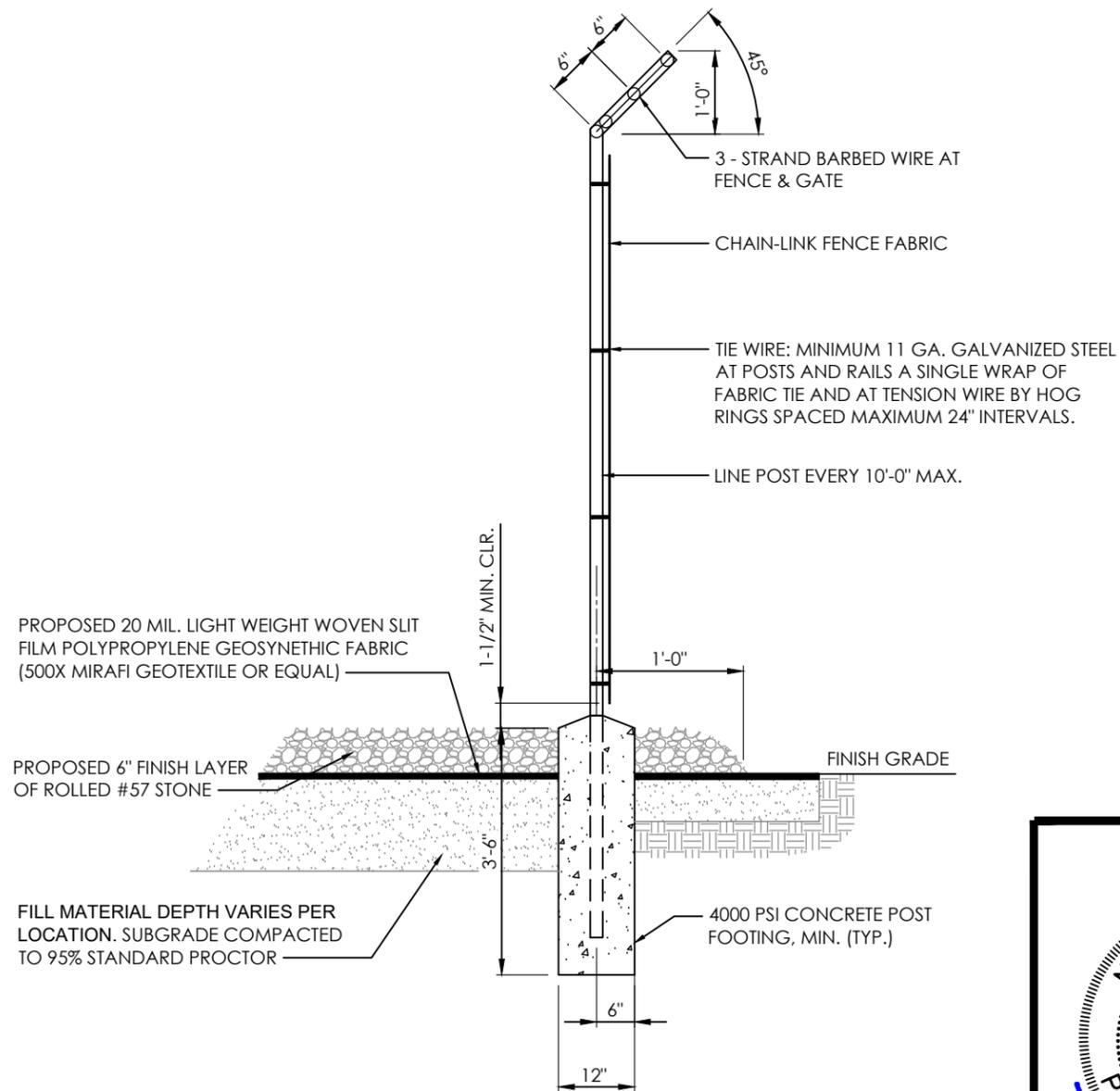


**NOTES**

1. VERIFY ALL MOUNTING LOCATION PER EQUIPMENT MANUFACTURER FOR LOCATION & QUANTITY OF UNISTRUT ON H-FRAME. (MIN. 5 UNISTRUT SHALL BE INSTALLED)
2. ALL EQUIPMENT SHALL BE MOUNTED A MIN. OF 6" ABOVE FINISH GRADE.
3. ALL CONDUIT STUB-UP TO BE ATTACHED NO GREATER HAD 6" MAX. ABOVE FINISHED GRADE. ATTACH ALL CONDUIT ABOVE FIRST 6" AT 12" ON CENTER.
4. BOND ALL METALLIC SURFACES TO GROUND RING WITH #2 SOLID AWG TIN-PLATED COPPER GROUND CONDUCTOR.
5. ALL GROUND LEADS SHALL BE INSTALLED IN 1" SCH. 40 PVC CONDUIT. PROVIDE WATERTIGHT CAULK SEAL & ADEQUATE COIL FOR CONNECT TO PROPOSED EQUIPMENT.

**H-FRAME DETAIL**

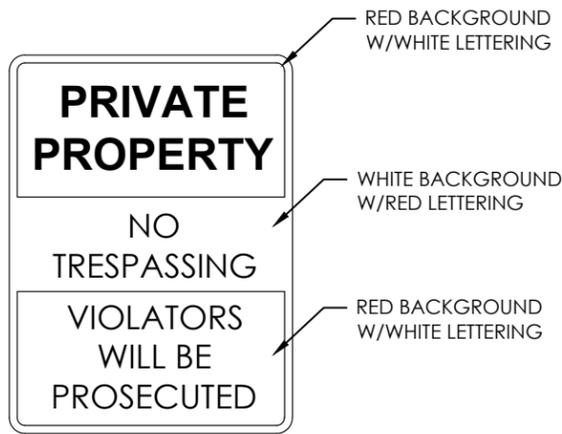
SCALE: NTS



**COMPOUND FENCE MATERIALS**

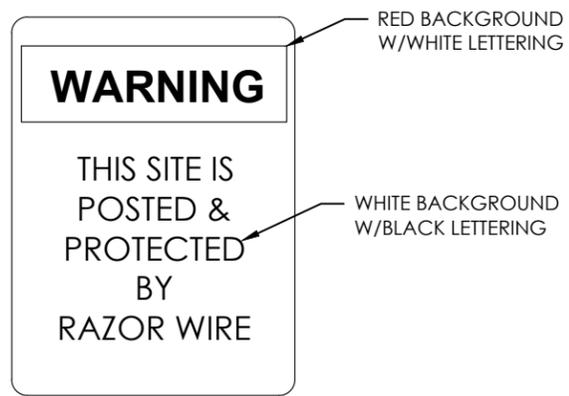
SCALE: NTS





**(A) NO-TRESPASSING SIGN**

18" WIDE x 24" HIGH



**(B) RAZOR-WIRE SIGN**

18" WIDE x 24" HIGH



**(C) FCC REGISTRATION SIGN**

24" WIDE x 18" HIGH

**GENERAL NOTES**

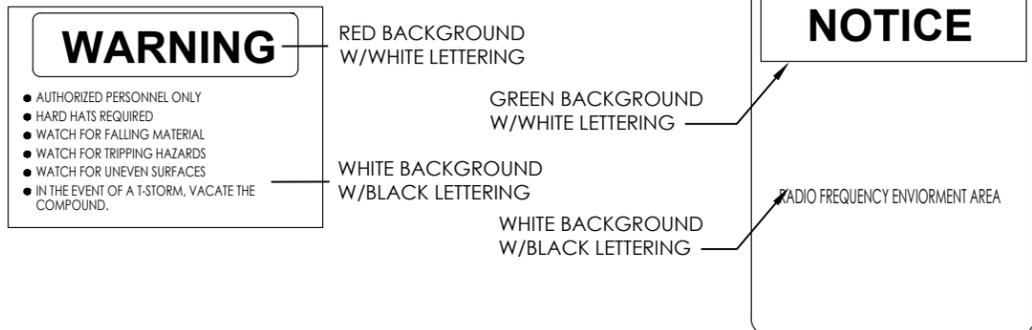
1. THE SITE SHALL ONLY CONTAIN SIGNAGE AS MANDATED BY THE FCC
2. ALL SIGNS TO BE INSTALLED ACCORDING TO DWG SITE SIGNAGE ADJACENT TO GATES (LEFT OR RIGHT SIDE OF GATE IS ACCEPTABLE, BUT MUST BE MOUNTED ON GATE SIDE OF COMPOUND, SO AS TO BE READABLE WITH GATES OPEN OR CLOSED).
3. SIGNS SHALL BE FABRICATED FROM CORROSION RESISTANT PRESSED METAL, AND PAINTED WITH LONG LASTING UV RESISTANT COATING.
4. SIGNS (EXCEPT WHERE NOTED OTHERWISE) SHALL BE MOUNTED TO THE TOWER, GATE AND FENCE USING A MIN. OF 9 GAUGE ALUMINUM WIRE, HOG RINGS (AS UTILIZED IN FENCE INSTALLATIONS) OR BRACKETS WHERE NECESSARY. BRACKETS SHALL BE OF SIMILAR METAL AS THE STRUCTURE TO AVOID GALVANIC CORROSION.
5. ADDITIONAL E911 ADDRESS SIGNS ARE REQUIRED AT EACH ACCESS ROAD GATE LEADING TO THE COMPOUND AS WELL AS ON THE COMPOUND GATE ITSELF.
6. ADDITIONAL FCC REGISTRATION # SIGNS ARE REQUIRED AT EACH ACCESS ROAD GATE LEADING TO THE COMPOUND AS WELL AS ON THE COMPOUND GATE ITSELF. SIGN SHALL MEASURE 20" LONG x 4" TALL). THE LETTERS SHALL BE 1" AND THE NUMBERS SHALL BE 2".
7. RECOMMENDED SOURCES FOR OBTAINING SIGNAGE.

- ST CLAIR SIGNS  
3184 WADE HAMPTON BLVD.  
TYLORS, SC 29687  
864-244-0040
- EXCEL SIGN & DECAL  
1509 NORTH MILPITAS BLVD.  
MILPITAS, CA 95035  
408-942-8881
- RF EXPOSURE SIGNS  
RICHARD TELL ASSOCIATES  
3433 RINGTAR ROAD, SUITE 3  
NORTH LAS VEGAS, NV 89030  
702-645-3338



**(D) MARKETING/ ID SIGN**

24" WIDE x 18" HIGH



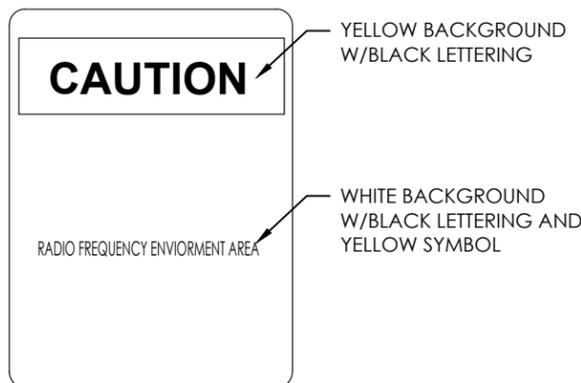
**(E) CAUTION - HARD HAT CONSTRUCTION AREA AND TRIPPING HAZARDS**

24" WIDE x 18" HIGH



**(F) NOTICE-RFE SIGN**

24" WIDE x 18" HIGH

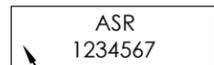


**NOTES**

TO BE MOUNTED NEAR TOWER LEG W/ CLIMBING CABLE. DO NOT RESTRICT CLIMBING ACCESS.

**(H) CAUTION-RFE SIGN**

12" WIDE x 18" HIGH



WHITE BACKGROUND W/BLACK LETTERING

**NOTES**

ASR SIGN TO BE MOUNTED AT TOWER BASE DURING CONSTRUCTION.

**(I) ASR SIGN**

10" WIDE x 4" HIGH



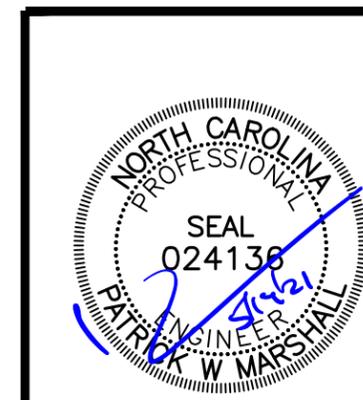
CONTRACTOR SHALL VERIFY ADDRESS PRIOR TO ORDERING SIGNAGE

RED LETTERS (ALL OTHERS SHALL BE BLACK)

CONTRACTOR TO COORDINATE NUMBERS (TYP.)

**(J) OWNER SIGNAGE**

36" WIDE x 24" HIGH



**LOCATION:**

34.072992 , -77.901794

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WILMINGTON, NC 28412

**THE CAPE BLVD.**

CTG-NC 0010081

NO.	DATE	DESCRIPTION
A	5/12/21	FINAL

**PROJECT:**

SITE DEVELOPMENT

**DESIGNER:**

INS

**CHECKED:**

JTM

**JOB #:**

20KCG\_NNC-0017

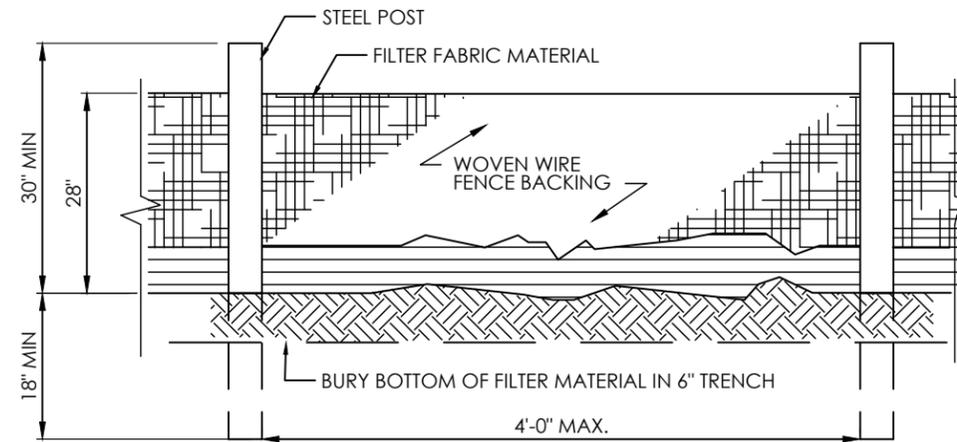
**SIGN DETAILS**

**FOUNDATION, EXCAVATION & GRADING NOTES**

1. ALL CUT AND FILL SLOPES SHALL BE 2 : 1 MAXIMUM.
2. ALL EXCAVATIONS ON WHICH CONCRETE IS TO BE PLACED SHALL BE SUBSTANTIALLY
3. HORIZONTAL ON UNDISTURBED AND UNFROZEN SOIL AND BE FREE FROM LOOSE MATERIAL AND EXCESS GROUND WATER. DEWATERING FOR EXCESS GROUND WATER SHALL BE PROVIDED IF REQUIRED.
4. CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC MATERIAL. IF SOUND SOIL IS NOT REACHED AT THE DESIGNATED EXCAVATION DEPTH, THE UNSATISFACTORY SOIL SHALL BE EXCAVATED TO ITS FULL DEPTH AND EITHER BE REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION SHALL BE FILLED WITH CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION.
5. ANY EXCAVATION OVER THE REQUIRED DEPTH SHALL BE FILLED WITH EITHER MECHANICALLY COMPACTED GRANULAR MATERIAL OR CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION. CRUSHED STONE MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION. STONE, IF USED, SHALL NOT BE USED AS COMPILING CONCRETE THICKNESS.
6. AFTER COMPLETION OF THE FOUNDATION AND OTHER CONSTRUCTION BELOW GRADE, AND 5. BEFORE BACK FILLING, ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS, AND SO FORTH.
7. ALL BACKFILLING SHALL (1) USE APPROVED MATERIALS CONSISTING OF EARTH, LOAM, 6. SANDY CLAYS, SAND AND GRAVEL, OR SOFT SHALE, (2) BE FREE FROM CLODS OR STONES OVER 2 1/2" MAXIMUM DIMENSIONS, AND (3) BE PLACED IN LAYERS AND COMPACTED.
8. SITE FILL MATERIAL AND FOUNDATION BACK FILL SHALL BE PLACED IN LAYERS, MAXIMUM 6" 7. DEEP BEFORE COMPACTION. EACH LAYER SHALL BE SPRINKLED IF REQUIRED AND COMPACTED BY HAND OR MACHINE TAMPERS TO 95% OF MAXIMUM DENSITY, AT THE OPTIMUM MOISTURE CONTENT OF ±2% AS DETERMINED BY ASTM DESIGNATION D-698, UNLESS OTHERWISE APPROVED. SUCH BACK FILL SHALL NOT BE PLACED BEFORE 3 DAYS AFTER PLACEMENT OF CONCRETE.
9. THE FOUNDATION AREA SHALL BE GRADED TO PROVIDE WATER RUNOFF AND PREVENT 8. WATER FROM STANDING. THE FINAL GRADE SHALL SLOPE AWAY IN ALL DIRECTIONS FROM THE FOUNDATION AREA (UP TO 1 FOOT OUTSIDE THE FENCE OR GROUND SYSTEM PERIMETER) AND SHALL BE COVERED WITH A GEOTEXTILE FABRIC MIRAFI 500X OR APPROVED EQUAL TO PREVENT REOCCURRENCE OF VEGETATIVE GROWTH, AN THEN SHALL BE COVERED WITH 4" DEEP COMPACTED STONE OR GRAVEL.
10. THE CONTRACTOR SHALL PROVIDE ALL EROSION AND SEDIMENTATION CONTROL MEASURES 9. AS REQUIRED BY LOCAL, CITY, COUNTY, AND STATE CODES AND ORDINANCES TO PROTECT EMBANKMENTS FROM SOIL LOSS AND TO PREVENT ACCUMULATION OF SOIL AND SILT IN STREAMS AND DRAINAGE PATHS FROM LEAVING THE CONSTRUCTION AREA. THIS MAY INCLUDE SUCH MEASURES AS SILT FENCES, STRAW BALE SEDIMENT BARRIERS, AND CHECK DAMS.
11. FILL PREPARATION: REMOVE ALL VEGETATION, TOPSOIL, DEBRIS, WET AND UNSATISFACTORY SOIL MATERIALS, OBSTRUCTIONS, AND DELETERIOUS MATERIAL FROM GROUND SURFACE PRIOR TO PLACING FILLS. PLOW STRIP OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL SO FILL MATERIAL WILL BOND WITH EXISTING SURFACE. WHEN SUBGRADE OR EXISTING GROUND SURFACE TO RECEIVE FILL HAS A DENSITY LESS THAN THAT REQUIRED FOR FILL, BREAK UP GROUND SURFACE TO REQUIRED DEPTH, PULVERIZE, MOISTURE CONDITION OR AERATE SOIL, AND RECOMPACT TO REQUIRED DENSITY.

**FOUNDATION, EXCAVATION & GRADING NOTES**

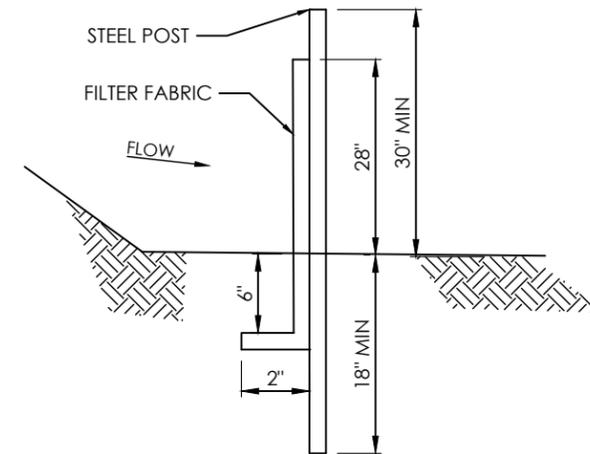
12. REPLACE EXISTING GRAVEL SURFACING ON AREAS FROM WHICH GRAVEL SURFACING IS REMOVED DURING CONSTRUCTION OPERATIONS. GRAVEL SURFACING SHALL BE REPLACED TO MATCH EXISTING ADJACENT GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS. SURFACES AND GRAVEL SURFACING SHALL BE FREE FROM CORRUGATIONS AND WAVES. EXISTING GRAVEL SURFACING MAY BE EXCAVATED SEPARATELY AND REUSED IF INJURIOUS AMOUNTS OF EARTH, ORGANIC MATTER, OR OTHER DELETERIOUS MATERIALS ARE REMOVED PRIOR TO REUSE. FURNISH ALL ADDITIONAL GRAVEL RESURFACING MATERIAL AS REQUIRED. BEFORE GRAVEL SURFACING IS REPLACED, SUBGRADE SHALL BE GRADED TO CONFORM TO REQUIRED SUBGRADE ELEVATIONS, AND LOOSE OR DISTURBED MATERIALS SHALL BE THOROUGHLY COMPACTED. DEPRESSIONS IN THE SUBGRADE SHALL BE FILLED AND COMPACTED WITH APPROVED SELECTED MATERIAL. GRAVEL SURFACING MATERIAL SHALL NO BE USED FOR FILLING DEPRESSIONS IN THE SUBGRADE.
13. PROTECT EXISTING GRAVEL SURFACING AND SUBGRADE IN AREAS WHERE EQUIPMENT LOADS WILL OPERATE. USE PLANKING OR OTHER SUITABLE MATERIALS DESIGNED TO SPREAD EQUIPMENT LOADS. REPAIR ANY DAMAGE TO EXISTING GRAVEL SURFACING OR SUBGRADE WHERE SUCH DAMAGE IS DUE TO THE CONTRACTOR'S OPERATIONS. ENSURE POSITIVE DRAINAGE DURING AND AFTER COMPLETION OF CONSTRUCTION.
14. RIPRAP SHALL BE CLEAN, HARD, SOUND, DURABLE, UNIFORM IN QUALITY, AND FREE OF ANY 14. DETRIMENTAL QUANTITY OF SOFT, FRIABLE, THIN, ELONGATED OR LAMINATED PIECES, DISINTEGRATED MATERIAL, ORGANIC MATTER, OIL, ALKALI, OR OTHER DELETERIOUS SUBSTANCE.
15. REMOVE ALL ORGANICS, ROCKS GREATER THAN 3", UNUSED FILL AND OTHER DEBRIS TO AN 15. AREA OFF SITE IN A LEGAL MANNER



**NOTES**

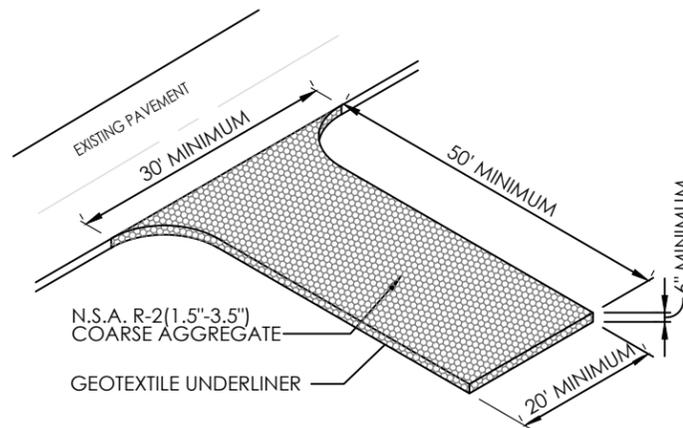
1. USE 36" DOT APPROVED FABRIC
2. USE STEEL POSTS

- Ds2 DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)
- Ds3 DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)



**SFC-SILT FENCE, TYPE-C**

SCALE: NTS



**MAINTENANCE**

1. PERIODICALLY DRESS WITH 1.5"-3.5" STONE.
2. MAINTAIN IN A CONDITION THAT WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY.
3. IMMEDIATELY REMOVE MUD AND DEBRIS TRACKED OR SPILLED ONTO ROADWAYS.

**CO-CONSTRUCTION EXIT DETAIL**

SCALE: NTS



LOCATION:

34.072992 , -77.901794

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PROJECT:  
SITE DEVELOPMENT

DESIGNER: INS  
CHECKED: JTM  
JOB #: 20KCG\_NNC-0017

GRADING NOTES &  
DETAILS



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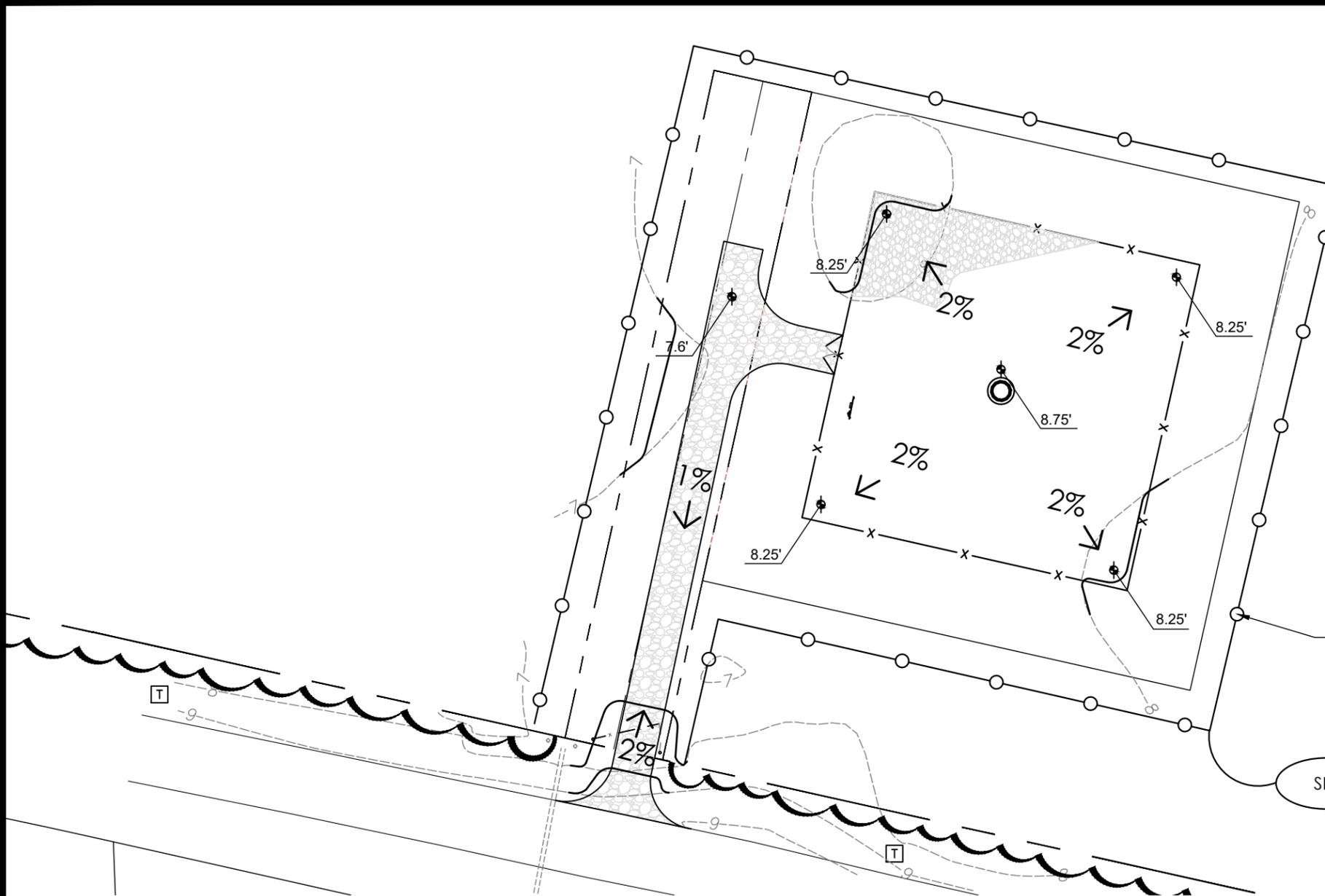
DESIGNER: INS

CHECKED: JTM

JOB #: 20KCG\_NNC-0017

**GRADING &  
EROSION  
CONTROL  
PLAN**

C-11



ADD CLEAN DIRT FILL TO ENTIRE SITE AREA TO RAISE SITE 12". INSTALL FILL DIRT & PACK IN 6" LIFTS TO COMPACTED AT A MIN. OF 98% STANDARD PROCTOR. ALL IMPORTED FILL SHOULD BE CLEAN SOIL (FREE OF ROOTS & DEBRIS AND SHOULD CONTAIN LES THAN 10% BY DRY WEIGHT PASSING #200. DO NOT REUSE ANY EXISTING EXCAVATED SOILS FOR STRUCTURAL FILL.

SILT FENCE/LIMITS OF CONSTRUCTION

SFC

**STORM WATER CALCS**

- RUNOFF OF FIRST 1.5" OF RAINFALL OVER LEASE AREA AND EASEMENT AREAS IS...  
(10,000 SF COMPOUND + 2,725.087 SF DRIVE) = 12,725 SF OF IMPERVIOUS COVER  
RETAIN FIRST 1.5" OF RAINFALL ACROSS NEW DEVELOPMENT AREA.  
VMAX. RET. = (DEPTH OF RAINFALL IN FT) (TOTAL SF OF IMPERVIOUS)  
VMAX. RET. = (.125FT) ( 12,725)  
VMAX. RET. = 1,590.625 CF

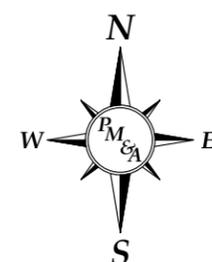
**IMPERVIOUS SURFACE RATIOS**

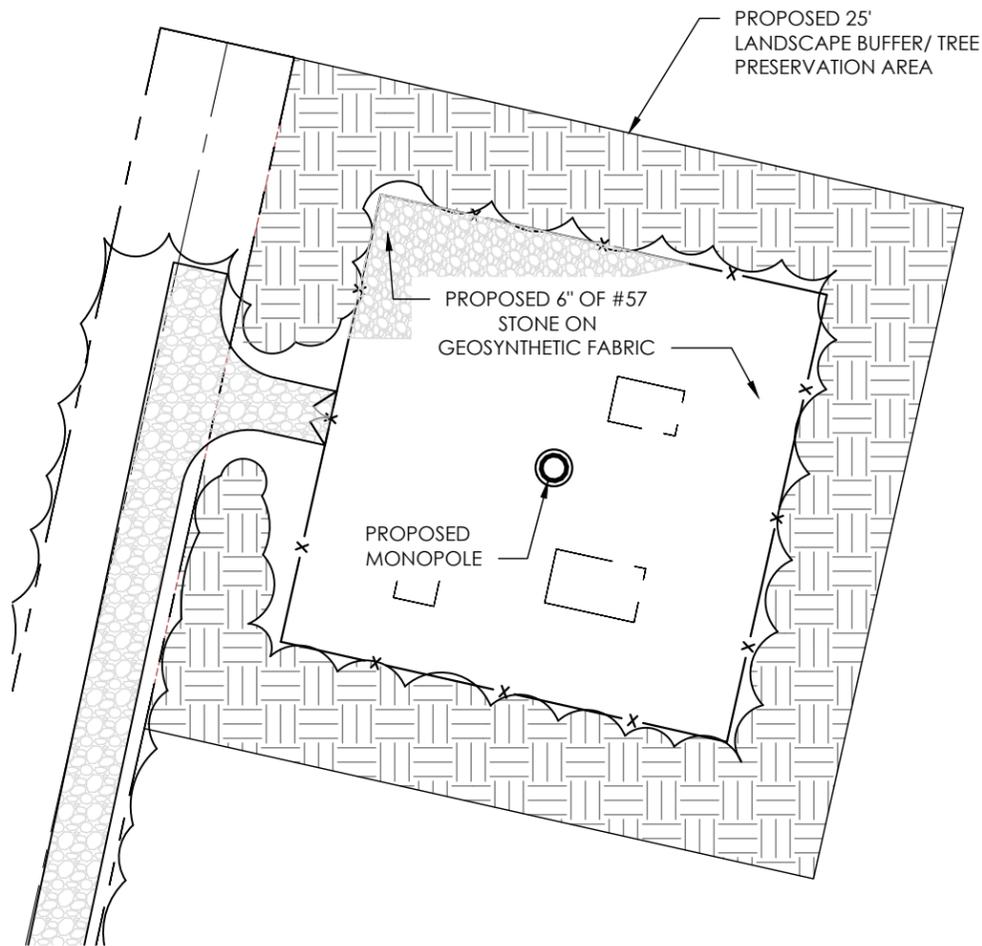
EXISTING TRACT SIZE:	5.95 ACRES (259,182 SQ.FT.)
<u>EXISTING PERVIOUS/ IMPERVIOUS AREA</u>	
TOTAL EXISTING PERVIOUS AREA:	259,182 SQFT. (5.95 ACRES)
TOTAL EXISTING IMPERVIOUS AREA:	0000 SQFT. (.000 ACRES)
PROPOSED IMPERVIOUS AREA	12,725 SQFT.(0.29 ACRES)
PROPOSED IMPERVIOUS AREA INCREASE:	
COMPOUND	10,000 SQFT. (0.23 ACRES)
GRAVEL DRIVE	2,725 SQFT. (0.06 ACRES)
TOTAL PROPOSED PERVIOUS AREA:	246,457 SQFT. (5.66 ACRES)
TOTAL PROPOSED IMPERVIOUS AREA:	12,725 SQFT. (0.29 ACRES)
<u>IMPERVIOUS SURFACE AREA (ISR) &amp; PERVIOUS SURFACE AREA (PSR)</u>	
PROPOSED ISR:	12,725/ 259,182 = 4.909%
PROPOSED PSR:	246,457/ 259,182 = 95.090%

**GRAPHIC SCALE**



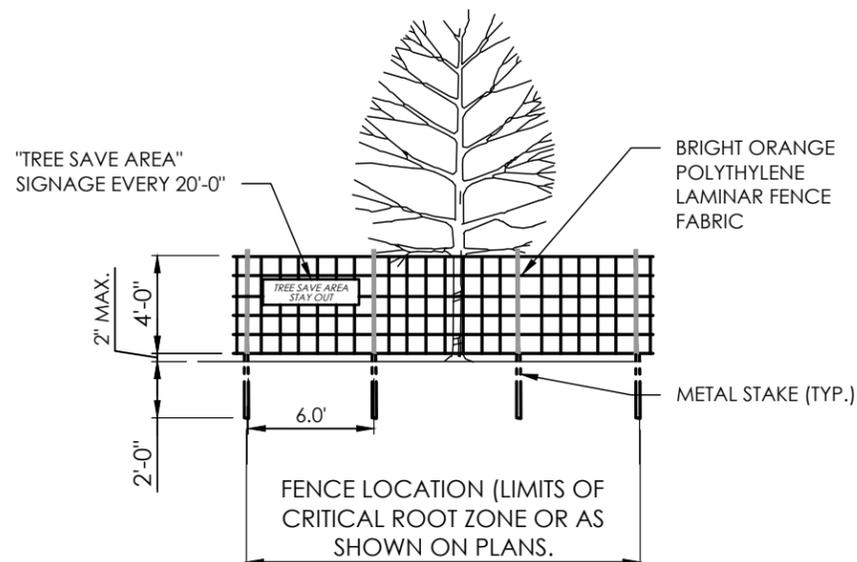
**NORTH ARROW**





**LANDSCAPING PLAN**

SCALE: 1:40



**TREE PROTECTION DETAIL**

SCALE: NTS

**GENERAL NOTES**

1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
3. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT (1) YEAR BEGINNING AT THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
4. ANY PLANT MATERIAL THAT DIES, TURNS BROWN OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, SIZE AND MEETING ALL SPECIFICATIONS.
5. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK", LATEST EDITION, REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
6. ALL BUFFERS AND TREE SAVE AREAS ARE TO BE CLEARLY IDENTIFIED WITH FLAGGING AND /OR FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE

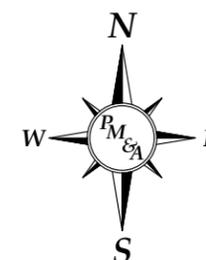
**ARBORIST NOTES**

1. NO SPECIMEN TREES EXISTING ON THE SITE.
2. NO PLANTING MATERIAL WILL BE STORED ON SITE.
3. THERE WILL NO BURNING OR BURIAL OF DEBRIS ON SITE.

**GRAPHIC SCALE**



**NORTH ARROW**



**LOCATION:**

34.072992 , -77.901794

**NEAREST ADDRESS:**

902 THE CAPE BLVD,  
WILMINGTON, NC 28412

**THE CAPE BLVD.**

CTG-NC 0010081

NO.	DATE	DESCRIPTION
A	5/12/21	FINAL

**PROJECT:**

SITE DEVELOPMENT

**DESIGNER:**

INS

**CHECKED:**

JTM

**JOB #:**

20KCG\_NNC-0017

**LANDSCAPING PLAN**

**ELECTRICAL INSTALLATION NOTES**

1. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, NEC AND ALL APPLICABLE LOCAL CODES.
2. CONDUIT ROUTINGS ARE SCHEMATIC. SUBCONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED.
3. WIRING, RACEWAY AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC AND TELCORDIA.
4. ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC AND TELCORDIA.
5. CABLES SHALL NOT BE ROUTED THROUGH LADDER-STYLE CABLE TRAY RUNGS.
6. EACH END OF EVERY POWER, POWER PHASE CONDUCTOR (I.E., HOTS), GROUNDING, AND T1 CONDUCTOR AND CABLE SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2 INCH PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC & OSHA.
7. ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS. ALL EQUIPMENT SHALL BE LABELED WITH THEIR VOLTAGE RATING, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATING, AND BRANCH CIRCUIT ID NUMBERS (I.E., PANELBOARD AND CIRCUIT ID'S).
8. PANELBOARDS (ID NUMBERS) AND INTERNAL CIRCUIT BREAKERS (CIRCUIT ID NUMBERS) SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS.
9. ALL TIE WRAPS SHALL BE CUT FLUSH WITH APPROVED CUTTING TOOL TO REMOVE SHARP EDGES.
10. POWER, CONTROL, AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE CONDUCTOR (#14 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
11. SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE CONDUCTOR (#6 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2 GREEN INSULATION, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
12. POWER AND CONTROL WIRING, NOT IN TUBING OR CONDUIT, SHALL BE MULTI-CONDUCTOR, TYPE TC CABLE (#14 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION; WITH OUTER JACKET; LISTED OR LABELED FOR THE LOCATION USED, UNLESS OTHERWISE SPECIFIED.
13. ALL POWER AND POWER GROUNDING CONNECTIONS SHALL BE CRIMP-STYLE, COMPRESSION WIRE LUGS AND WIRENUTS BY THOMAS AND BETTS (OR EQUAL). LUGS AND WIRENUTS SHALL BE RATED FOR OPERATION AT NO LESS THAN 75°C (90°C IF AVAILABLE).
14. RACEWAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.
15. ELECTRICAL METALLIC TUBING (EMT) OR RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40, OR RIGID PVC SCHEDULE 80 FOR LOCATIONS SUBJECT TO PHYSICAL DAMAGE) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.
16. ELECTRICAL METALLIC TUBING (EMT), ELECTRICAL NONMETALLIC TUBING (ENT), OR RIGID NONMETALLIC CONDUIT (RIGID PVC, SCHEDULE 40) SHALL BE USED FOR CONCEALED INDOOR LOCATIONS.
17. GALVANIZED STEEL INTERMEDIATE METALLIC CONDUIT (IMC) SHALL BE USED FOR OUTDOOR LOCATIONS ABOVE GRADE.

**ELECTRICAL INSTALLATION NOTES CONT.**

18. RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40 OR RIGID PVC SCHEDULE 80) SHALL BE USED UNDERGROUND; DIRECT BURIED, IN AREAS OF OCCASIONAL LIGHT VEHICLE TRAFFIC OR ENCASED IN REINFORCED CONCRETE IN AREAS OF HEAVY VEHICLE TRAFFIC.
19. LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID-TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.
20. CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION-TYPE AND APPROVED FOR THE LOCATION USED. SETSCREW FITTINGS ARE NOT ACCEPTABLE.
21. CABINETS, BOXES, AND WIREWAYS SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.
22. WIREWAYS SHALL BE EPOXY-COATED (GRAY) AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARD; SHALL BE PANDUIT TYPE E (OR EQUAL); AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS.
23. EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES, AND PULL BOXES SHALL BE GALVANIZED OR EPOXY-COATED SHEET STEEL, SHALL MEET OR EXCEED UL 50, AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS
24. METAL RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL BE GALVANIZED, EPOXY-COATED, OR NON-CORRODING; SHALL MEET OR EXCEED UL 514A AND NEMA OS 1; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
25. NONMETALLIC RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS 2; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
26. THE SUBCONTRACTOR SHALL NOTIFY AND OBTAIN NECESSARY AUTHORIZATION FROM THE CONTRACTOR BEFORE COMMENCING WORK ON THE AC POWER DISTRIBUTION PANELS.
27. THE SUBCONTRACTOR SHALL PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS TO SAFEGUARD AGAINST LIFE AND PROPERTY.

**GROUNDING GENERAL NOTES**

- A. ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION, AND AC POWER GES'S) SHALL BE BONDED TOGETHER, AT OR BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC AND AT&T ND-00071.
- B. THE SUBCONTRACTOR IS RESPONSIBLE FOR PROPERLY SEQUENCING GROUNDING AND UNDERGROUND CONDUIT INSTALLATION AS TO PREVENT ANY LOSS OF CONTINUITY IN THE GROUNDING SYSTEM OR DAMAGE TO THE CONDUIT.
- C. METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS.
- D. CONNECTIONS TO THE GROUND BUS SHALL NOT BE DOUBLED UP OR STACKED. BACK-TO-BACK CONNECTIONS ON OPPOSITE SIDES OF THE GROUND BUS ARE PERMITTED.
- E. ALUMINUM CONDUCTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
- F. USE OF 90° BENDS IN THE PROTECTION GROUNDING CONDUCTORS SHALL BE AVOIDED WHEN 45° BENDS CAN BE ADEQUATELY SUPPORTED. IN ALL CASES, BENDS SHALL BE MADE WITH A MINIMUM BEND RADIUS OF 8 INCHES.
- G. ALL EXTERIOR GROUND CONDUCTORS BETWEEN EQUIPMENT/GROUND BARS AND THE GROUND RING, SHALL BE #2 AWG SOLID TIN-PLATED COPPER UNLESS OTHERWISE INDICATED.
- H. EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE. CONNECTIONS TO ABOVE GRADE EXTERIOR UNITS SHALL BE MADE WITH EXOTHERMIC WELDS WHERE PRACTICAL OR WITH 2 HOLE MECHANICAL TYPE BRASS CONNECTORS WITH STAINLESS STEEL HARDWARE, INCLUDING SET SCREWS.
- I. EXOTHERMIC WELDS SHALL BE PERMITTED ON TOWERS ONLY WITH THE EXPRESS APPROVAL OF THE TOWER MANUFACTURER OR THE CONTRACTORS STRUCTURAL ENGINEER.
- J. ALL WIRE TO WIRE GROUND CONNECTIONS TO THE INTERIOR GROUND RING SHALL BE FORMED USING HIGH PRESS CRIMPS OR SPLIT BOLT CONNECTORS WHERE INDICATED IN THE DETAILS.
- K. APPROVED ANTIOXIDANT COATINGS (I.E., CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
- L. ALL EXTERIOR GROUND CONNECTIONS SHALL BE COATED WITH A CORROSION RESISTANT MATERIAL.
- M. MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
- N. BOND ALL METALLIC OBJECTS WITHIN 6 FT OF THE BURIED GROUND RING WITH # 2 SOLID AWG TIN-PLATED COPPER GROUND CONDUCTOR.
- O. GROUND CONDUCTORS USED IN THE FACILITY GROUND AND LIGHTNING PROTECTION SYSTEMS SHALL NOT BE ROUTED THROUGH METALLIC OBJECTS THAT FORM A RING AROUND THE CONDUCTOR, SUCH AS METALLIC CONDUITS, METAL SUPPORT CLIPS OR SLEEVES THROUGH WALLS OR FLOORS. WHEN IT IS REQUIRED TO BE HOUSED IN CONDUIT TO MEET CODE REQUIREMENTS OR LOCAL CONDITIONS, NON-METALLIC MATERIAL SUCH AS PVC PLASTIC CONDUIT SHALL BE USED. WHERE USE OF METAL CONDUIT IS UNAVOIDABLE (E.G., STEEL CONDUIT PROHIBITED BY LOCAL CODE) THE GROUND CONDUCTOR SHALL BE BONDED TO EACH END OF THE METAL CONDUIT WITH LISTED BONDING FITTINGS.



LOCATION:

34.072992 , -77.901794

NEAREST ADDRESS:

902 THE CAPE BLVD,  
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**THE CAPE BLVD.**

CTG-NC 0010081

NO.	DATE	DESCRIPTION
A	5/12/21	FINAL

PROJECT:

SITE DEVELOPMENT

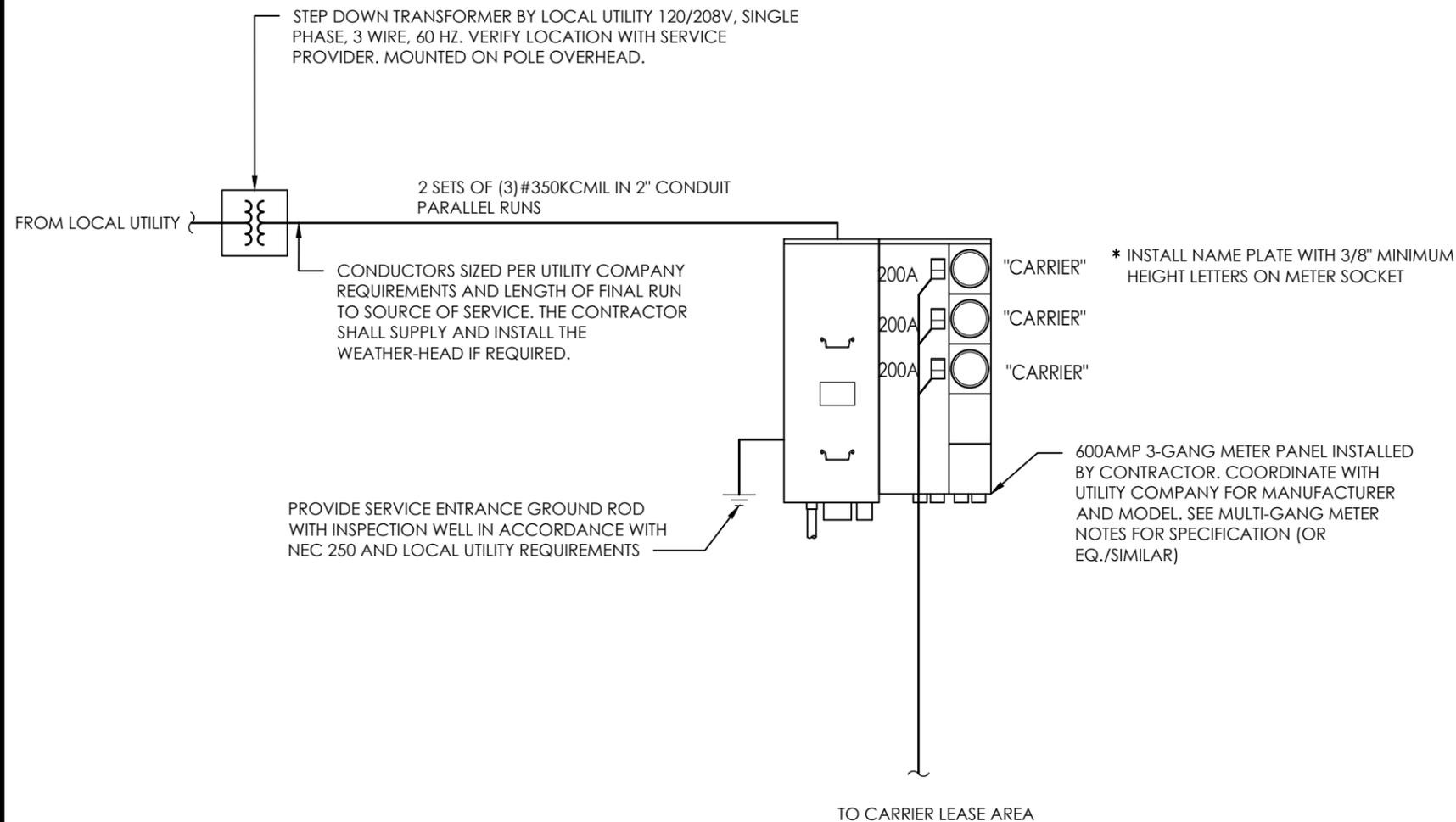
DESIGNER: INS

CHECKED: JTM

JOB #: 20KCG\_NNC-0017

**ELECTRICAL  
NOTES**





**ONE-LINE DIAGRAM**

SCALE: NTS

**GENERAL NOTES**

1. ELECTRICAL CONTRACTOR SHALL CONTACT POWER CO. & FIBER CO. AND VERIFY EXACT ROUTING, SIZING AND CONDITIONS BEFORE TRENCHING.
2. INSTALL ALL CONDUITS & EQUIPMENT AS SPECIFIED BY POWER CO. & FIBER CO.
3. VERIFY ALL EXISTING UNDERGROUND UTILITIES BEFORE TRENCHING.
4. PROVIDE NYLON PULL STRINGS ON ALL EMPTY CONDUITS.

CONDUIT & RISER DIAGRAM NOTE

ALL RISER POLE CONDUIT SHALL BE SUPPLIED BY THE OWNER/DEVELOPER AND MUST BE ON THE JOB SITE. THE OWNER/DEVELOPER SHALL INSTALL THE BOTTOM JOINT OF GALVANIZED RIGID STEEL CONDUIT AND POWER COMPANY WILL INSTALL THE TOP TWO (2) JOINTS. THE BOTTOM JOINT OF CONDUIT AND 90 DEGREE ELBOW SHALL BE INSTALLED BY THE CONTRACTOR AFTER POWER CO. INSTALLS THE RISER POLE. THE CONTRACTOR MUST ALSO SUPPLY SIX (6) TWO HOLE RIGID STEEL STRAPS (2 STRAPS PER 10 FT JOINT) GROUND CLAMP WILL BE PROVIDED AND INSTALLED BY POWER CO.

MULTI-GANG METER NOTES: EATON MODEL # 1MP6206RRLBC

- A. THE SERVICE BOX SHALL BE LOCKABLE WITH PROVISIONS TO ACCEPT THE UTILITY LOCKS.
- B. COVERS SHALL BE FASTENED WITH MACHINE SCREWS OR BOLTS. HINGED COVERS SHALL NOT BE PERMITTED.
- C. COVERS SHALL HAVE TWO HANDLES FOR REMOVAL.
- D. THE SERVICE CABLE TAP BOX SHALL BE IN COMPLIANCE WITH UTILITY SERVICE STANDARDS.



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ELECTRICAL  
ONE-LINE

LOCATION:

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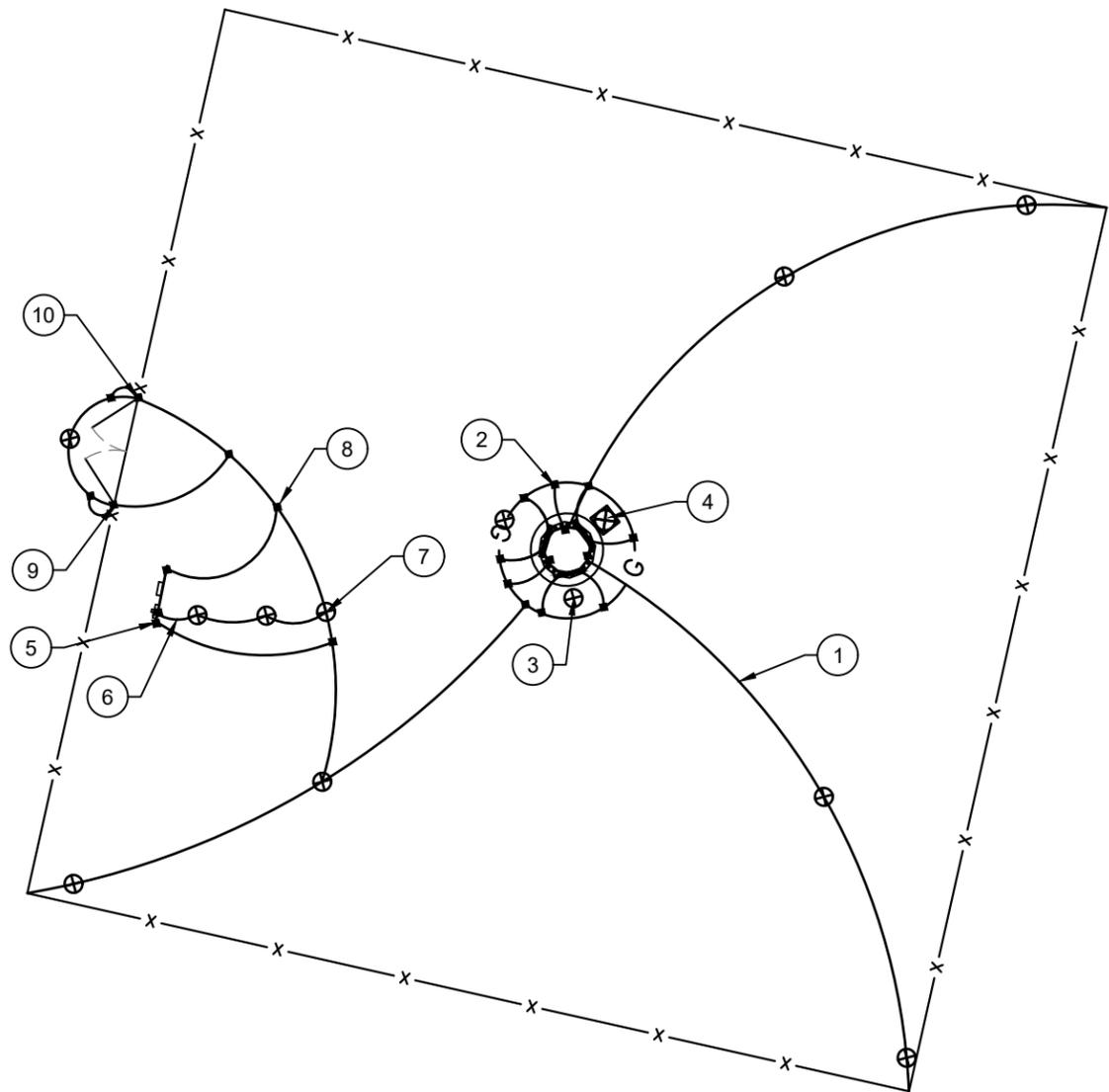
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**THE CAPE BLVD.**

CTG-NC 0010081

**KEYED NOTES**

1. #2 AWG BARE TINNED SOLID COPPER EQUIPMENT GROUND RING BURIED 30" BELOW GRADE OR 6" BELOW FROST LINE(WHICHEVER IS GREATER, TYP.) ALL GROUND LEADS CONNECTED TO RING SHALL BE #2 AWG BARE TINNED SOLID COPPER.
2. BOND EACH TOWER BASE PLATE TO TOWER GROUND RING PER TOWER MANUFACTURERS RECOMMENDATIONS(TYP.-3)
3. PROPOSED 5/8" X 10'-0 LONG COPPER CLAD STEEL GROUND RODS (TYP)
4. PROPOSED INSPECTION WELL (TYP.)
5. BOND H-FRAME TO GROUND RING WITH CADWELD CONNECTION (TYP. 2)
6. PROVIDE A #2/ 0 AWG SOLID BARE TINNED COPPER CONDUCTOR FROM GROUNDING LUG IN PROPOSED UTILITY METER AND BOND TO SERVICE ENTRANCE GROUND ROD AT A POINT CLOSE AS POSSIBLE.
7. GROUND SERVICE TO SERVICE GROUND ROD.
8. BOND CHAINLINK FENCE TO CLOSEST GROUND RING WITH CADWELD CONNECTIONS (TYP.).
9. BOND FENCE & GATE POSTS TO GROUND RING WITH CADWELD CONNECTIONS (TYP.).
10. BOND EVERY OTHER METALLIC POST TO CLOSEST GROUND RING WITH CADWELD CONNECTIONS (TYP.).



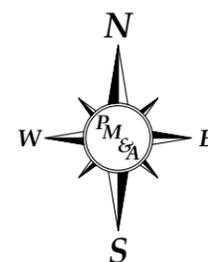
**GRAPHIC LEGEND**

- EXOTHERMIC WELD
- MECHANICAL CONNECTION
- ⊗ 5/8" X 10' COPPER CLAD GROUND ELECTRODE
- ⊗ 5/8" X 10' COPPER CLAD GROUND ELECTRODE W/ INSPECTION WELL

**GRAPHIC SCALE**



**NORTH ARROW**



NO.	DATE	DESCRIPTION
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**GROUNDING  
PLAN**

LOCATION:

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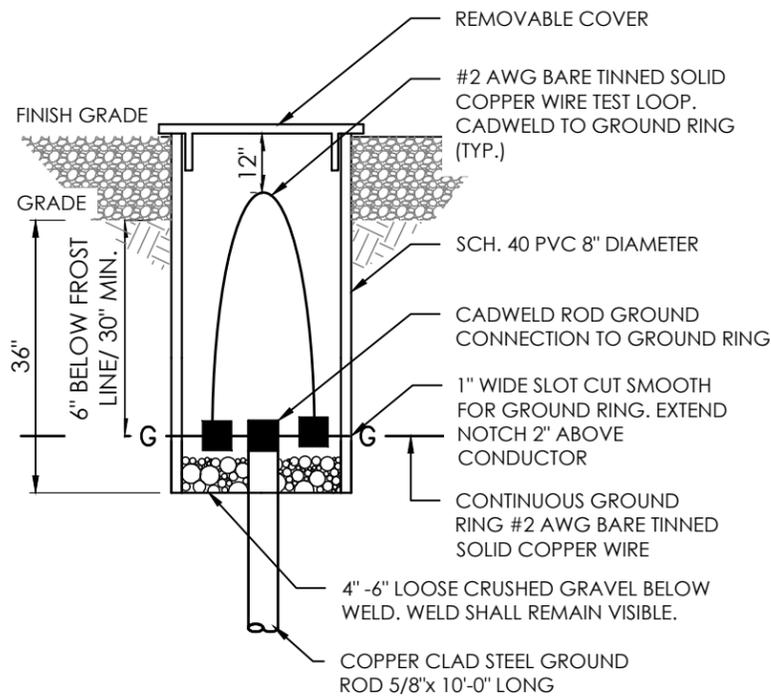
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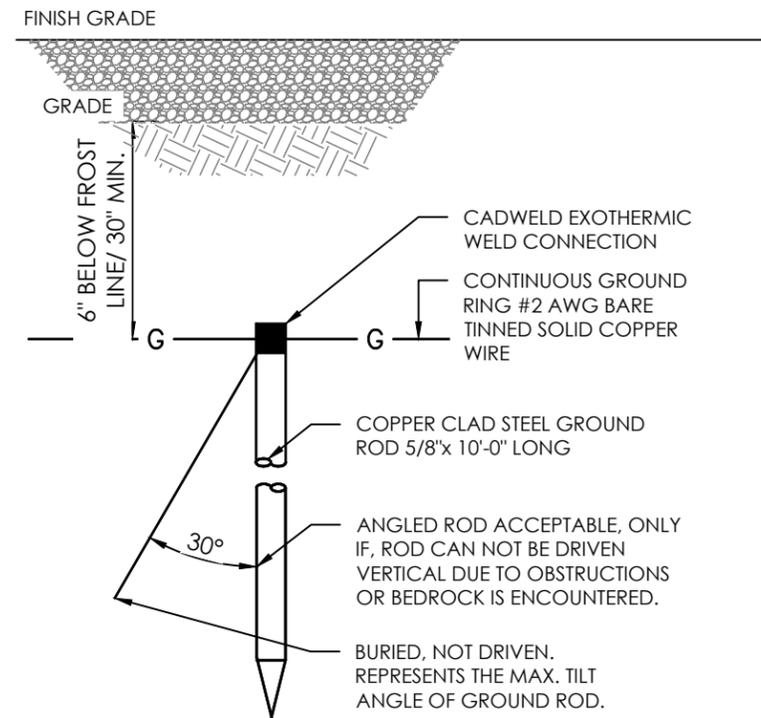
**ELECTRICAL  
DETAILS**



- NOTES**
- ONE TEST WELL SHALL BE PROVIDED BETWEEN THE TOWER GROUND LOOP AND THE EQUIPMENT GROUND LOOP

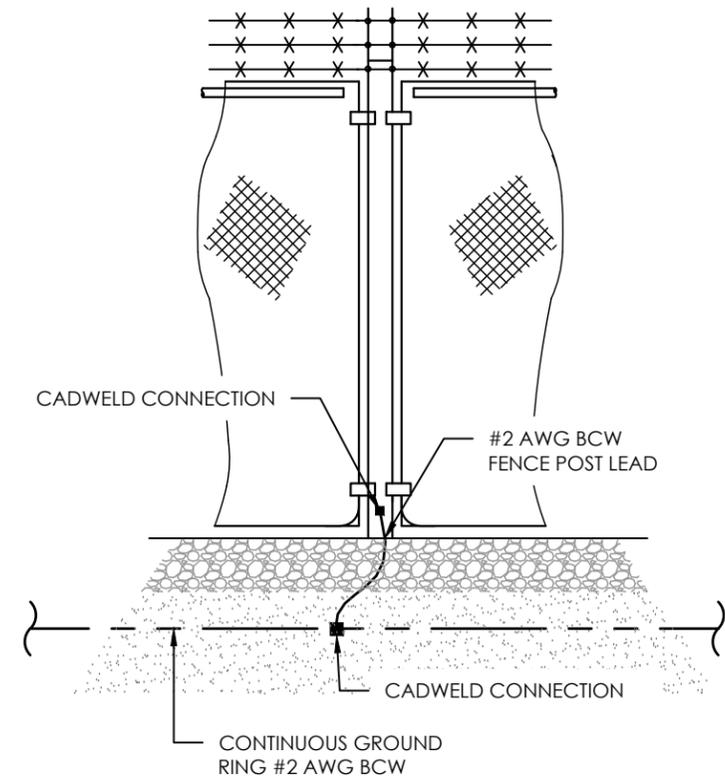
**GROUND ROD INSPECTION WELL**

SCALE: NTS



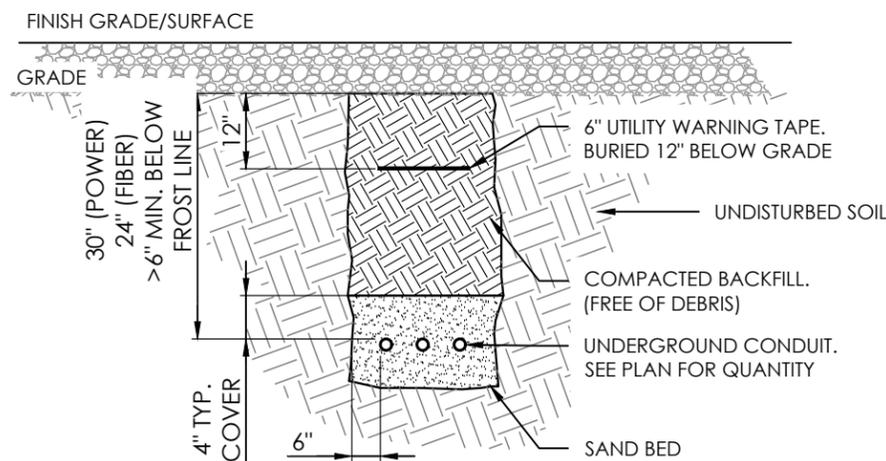
**GROUND ROD DETAIL**

SCALE: NTS



**FENCE GROUNDING**

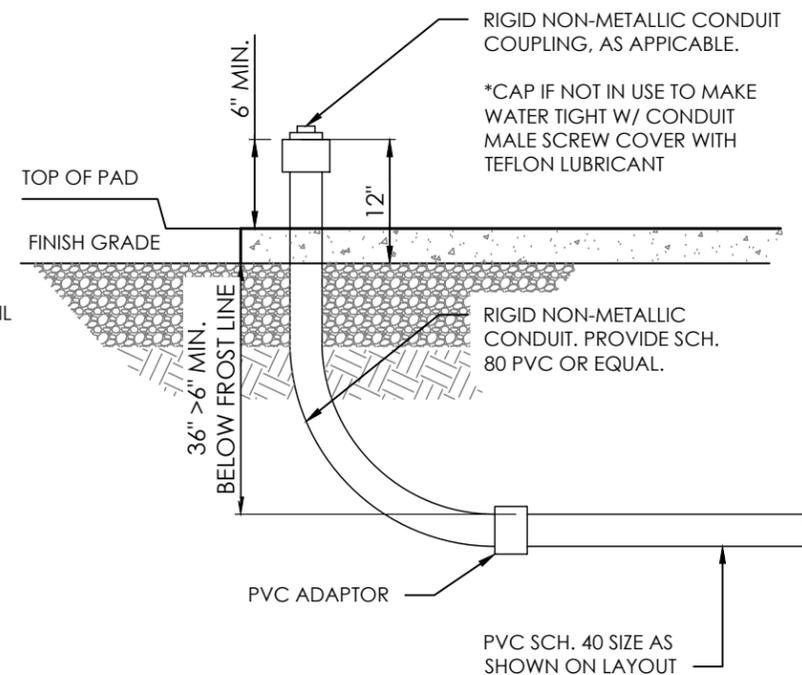
SCALE: NTS



- NOTES**
- PROVIDE PVC CONDUIT BELOW GRADE EXCEPT AS NOTED.
  - PROVIDE RGS CONDUIT BELOW PARKING LOTS & ROADWAYS.
  - 4\"/>

**UNDERGROUND CONDUIT TRENCH**

SCALE: NTS



- NOTES**
- PROVIDE RGS CONDUIT AND ELBOWS AT STUB-UP LOCATIONS

**UNDERGROUND CONDUIT STUB-UP**

SCALE: NTS

