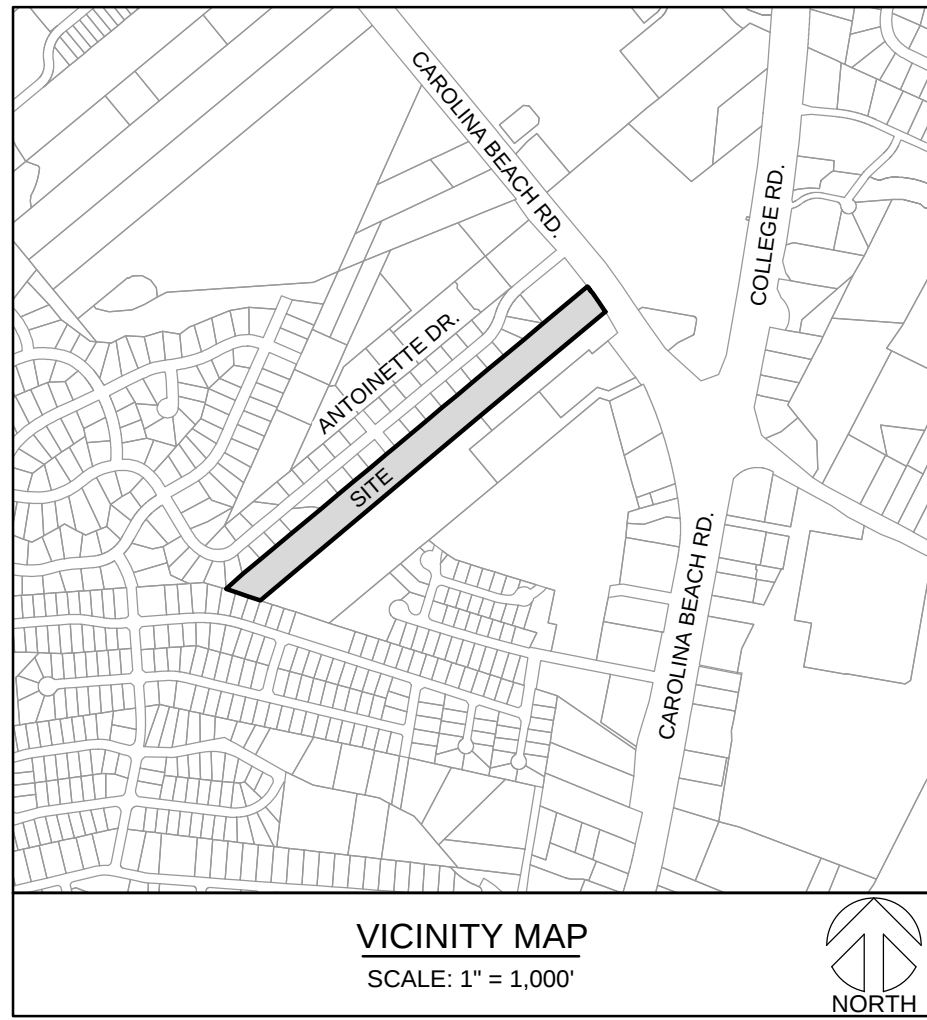




EXISTING SITE DATA

PROJECT ADDRESS:
PARCEL ID:
TOTAL TRACT AREA:
ZONING DISTRICT:
PROPOSED ZONING:
LAND CLASSIFICATION:
OWNER INFORMATION:

5308 CAROLINA BEACH RD.
R07600-006-044-000
± 9.14 AC
R-15, B-2
RMF-M (CZD)
URBAN & GENERAL RES.
BENNETT COMMERCIAL PROP, LLC.
6601 MYRTLE GROVE RD.
WILMINGTON, NC 28409

DEVELOPMENT DATA

RMF-M DENSITY:
ALLOWABLE UNITS:
± 9.14 AC x 17
PROVIDED UNITS
PROVIDED DENSITY
95 UNITS/9.14 AC

17 UNITS/AC
155.4 UNITS
± 9.14 AC x 17
95 UNITS
10.39 UNITS/AC

OPEN SPACE REQUIRED
0.03 AC/ Unit

2.85 AC MIN.

OPEN SPACE PROVIDED*
*EXCLUDES POND SURFACE

± 4.13 AC

BUILDING HEIGHT
(19) 2-STORY BUILDINGS

35'

TOTAL TOWNHOME BEDROOMS
(95) 3-BR

285

REQUIRED PARKING SPACES
95 units @ 2 spaces/unit

190

PROVIDED PARKING SPACES

190

HC Spaces Provided 6
151-200 spaces =
6 spaces required

IMPERVIOUS SURFACES
ROOFTOPS 76,000 SF
PAVEMENT 103,588 SF
SIDEWALKS 11,686 SF
191,274 SF

SITE INVENTORY NOTES

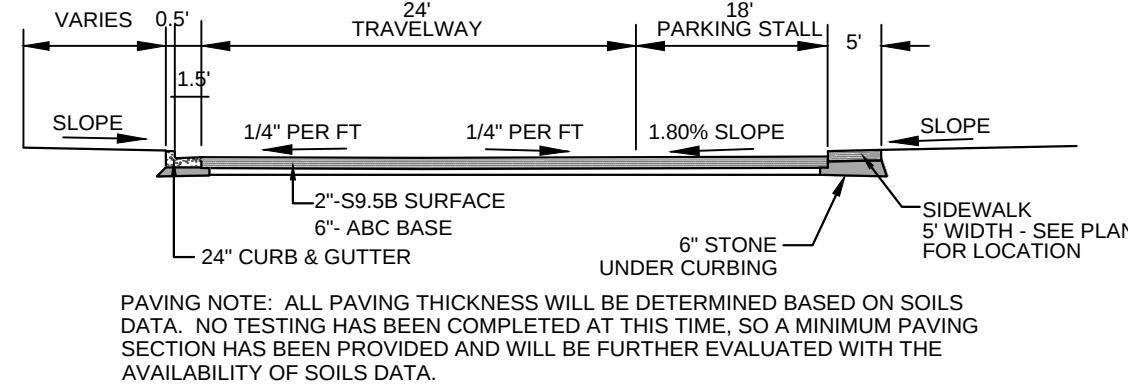
1. Soils Type: Kr (Kureb sand), Se (Seagate fine sand), Le (Leon sand) & Ly (Lynn Haven fine sand)
2. This property is not impacted by any AEC.
3. This site is not impacted by any recognized historic or archeological significance.
4. No cemeteries were evidenced on the site.
5. There is no evidence of jurisdictional wetlands within the proposed development area.
6. There is no evidence of endangered species or habitat issues on the site.
7. No portion of this property is within a Special Flood Hazard Area as evidenced on N.C. Flood Map 37203134003, dated April 3, 2006.

DEVELOPMENT NOTES

1. All development shall be in accordance with the New Hanover County Zoning Ordinance.
2. Project shall comply with all Federal, State & New Hanover County regulations.
3. No public R.O.W proposed. All roads/ drives to be private and maintained by H.O.A.
4. H.O.A. to maintain all open space, buffer areas, stormwater management elements and parking facilities.

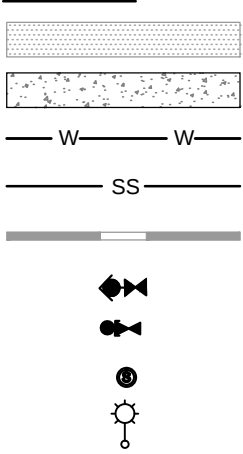
TRAFFIC AND PARKING PLAN

1. All traffic will enter and exit through either road connection located on Carolina Beach Rd or the stub connection to Antoinette Dr. Connection to either street is subject to NCDOT approval. Improvements will likely be required for the Carolina Beach Rd. entrance as a right-in/ right-out only entrance. There is currently a lighted intersection where Antoinette Dr. and Carolina Beach Rd. meet.
2. All parking to be handled through a HOA owned/ maintained parking facility to meet the parking standards set forth in the New Hanover County Zoning Ordinance.
3. The proposed unit count does not trigger a TIA based on county requirements.



TYPICAL TOWNHOME DRIVE WITH PARKING CROSS SECTION
NOT TO SCALE

LEGEND



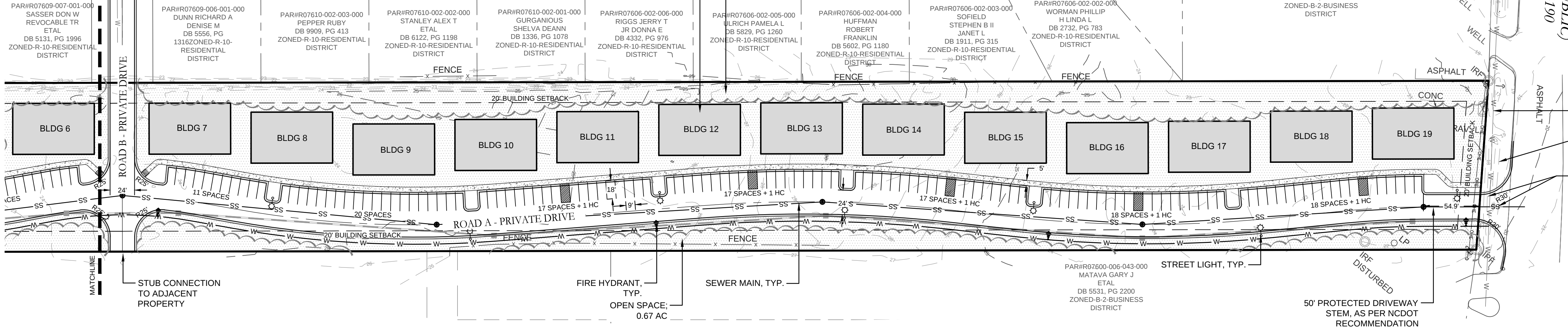
PROPOSED OPEN SPACE
PROPOSED SIDEWALK
PROPOSED 8" WATER MAIN
PROPOSED 8" SEWER MAIN
PROPOSED STORM PIPE
PROPOSED HYDRANT
PROPOSED BLOW-OFF VALVE
PROPOSED MANHOLE
PROPOSED STREET LIGHT

STUB CONNECTION TO ADJACENT
PROPERTY; TO UTILIZE EXISTING
R.O.W STUB TO ANTOINETTE DRIVE:

ANTOINETTE DRIVE
60' R/W (PUBLIC)
MP 11, PG 42

(5) UNIT, 2 STORY TOWNHOME BUILDING, TYP.;
3 BEDS MAX. PER UNIT

OPEN SPACE;
1.61 AC



STUB CONNECTION
TO ADJACENT
PROPERTY

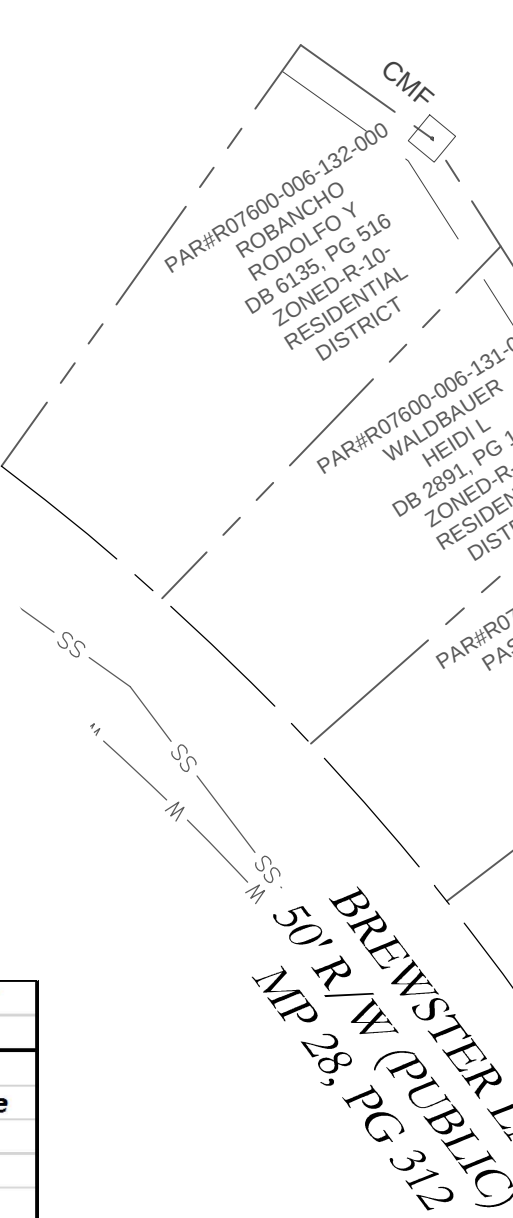
FIRE HYDRANT,
TYP.
OPEN SPACE;
0.67 AC

SEWER MAIN, TYP.

EXISTING TREE LINE
TO REMAIN, TYP.

ANTOINETTE 1
60' R/W (PUBL
MP 11, PG 42

20' BUFFER AREA; EXISTING VEGETATION TO
REMAIN TO GREATEST EXTENT POSSIBLE AND
BE AUGMENTED WHERE DEEMED INSUFFICIENT
TO MEET NHC BUFFER STANDARDS



BREWSTER LN
50' R/W (PUBLIC)
MP 28, PG 312

STUB CONNECTION
TO ADJACENT
PROPERTY

OPEN SPACE;
0.52 AC

STORM DRAIN
PIPE, TYP.

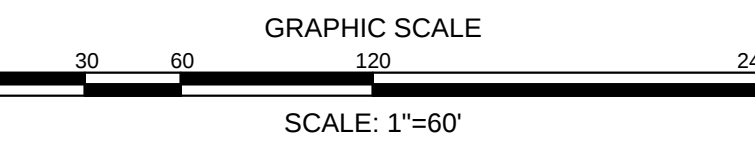
WATER MAIN,
TYP.

5' WIDE
SIDEWALK, TYP.

BEGIN 20' BUFFER AGAINST
RESIDENTIALLY ZONED PROPERTY

BEGIN 20' PERIMETER BUILDING
SETBACK

TRIP GENERATION CALCULATIONS - PRELIMINARY			
Use:	Residential Townhome		
Land Use Code	230		
Number of Dwelling Units	95		
Weekday: Ln(T)=0.85Ln(X)+2.55			
T =	641	Avg.VTE	
Weekday Peak AM: Ln(T)=0.85Ln(X)+2.55			
T =	51	Avg.VTE	
Weekday Peak PM: T=0.34(x) + 38.31			
T =	72	Avg.VTE	



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:	
REV. 1	REVISED PER TRC COMMENTS
REV. 2	REVISED PER PLANNING BOARD COMMENTS

CLIENT INFORMATION:
COLLEGE ACRES DEVELOPMENT, LLC.
4702 OLEANDER DRIVE
MYRTLE BEACH, SC 29577

PARAMOUNT ENGINEERING
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846

CONDITIONAL ZONING DISTRICT
SITE PLAN
5308 CAROLINA BEACH RD
NEW HANOVER COUNTY
NORTH CAROLINA

PROJECT STATUS	
CONCEPTUAL LAYOUT:	PRELIMINARY LAYOUT:
RELEASED FOR CONST.	RELEASED FOR CONST.
DRAWING INFORMATION	
DATE:	7/11/2018
DESIGNED:	JCM
DRAWN:	JCM
CHECKED:	JCM

SEAL

CZD-1

PEI JOB#: 18327.PE