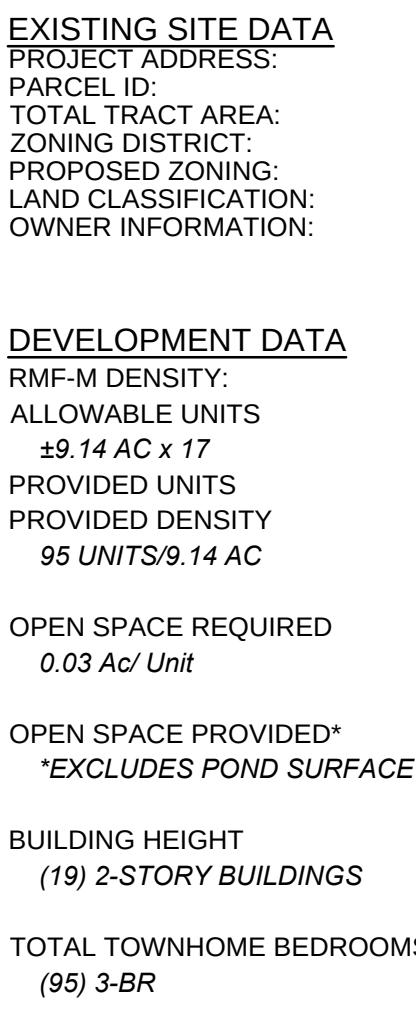


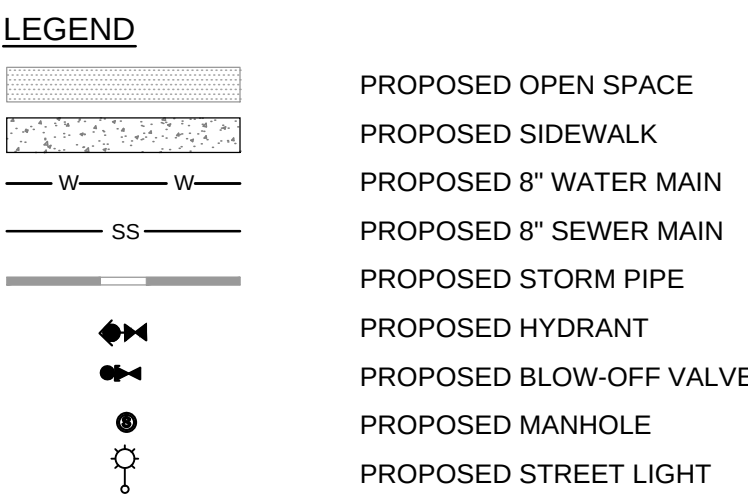


SITE INVENTORY NOTES

1. Soils Type: Kr (kureb sand), Se (Seagate fine sand), Le (Leon sand) & Ly (Lynn Haven fine sand)
2. This property is not impacted by any AEC.
3. This site is not impacted by any recognized historic or archeological significance.
4. No cemeteries were evidenced on the site.
5. There is no evidence of jurisdictional wetlands within the proposed development area.
6. There is no evidence of endangered species or habitat issues on the site.
7. No portion of this property is within a Special Flood Hazard Area as evidenced on N.C. Flood Map 327093134001, dated April 3, 2006.

1. All development shall be in accordance with the New Hanover County Zoning Ordinance.
2. Project shall comply with all Federal, State & New Hanover County regulations.
3. No public R.O.W proposed. All roads/ drives to be private and maintained by H.O.A.
4. H.O.A. to maintain all open space, buffer areas, stormwater management elements and parking facilities.

1. All traffic will enter and exit through either road connection located on Carolina Beach Rd or the stub connection to Antiochette Dr. Connection to either street is subject to NCDOT approval. Improvements will likely be required for the Carolina Beach Rd. entrance as a right-in/ right-out only entrance. There is currently a lighted intersection where Antiochette Dr. and Carolina Beach Rd. meet.
2. All parking to be handled through a HOA owned/ maintained parking facility to meet the parking standards set forth in the New Hanover County Zoning Ordinance.
3. The proposed unit count does not trigger a TIA based on county requirements.



PLANNING BOARD CONDITIONS

1. A downstream stormwater analysis of the existing infrastructure serving the site shall be conducted, the analysis shall include the ownership of the infrastructure, and the party or parties responsible for its maintenance and improvement.
2. The stormwater pond shall be aerated.
3. The townhomes shall be limited to two stories.
4. The required bufferyard shall be opaque.



TRIP GENERATION CALCULATIONS - PRELIMINARY		
Use:	Residential Townhome	
Land Use Code	230	
Number of Dwelling Units	95	
Weekday: $\ln(T) = 0.85 \ln(X) + 2.55$		
T =	641	Avg.VTE
Weekday Peak AM: $\ln(T) = 0.85 \ln(X) + 2.55$		
T =	51	Avg.VTE
Weekday Peak PM: $T = 0.34(x) + 38.31$		
T =	72	Avg.VTE