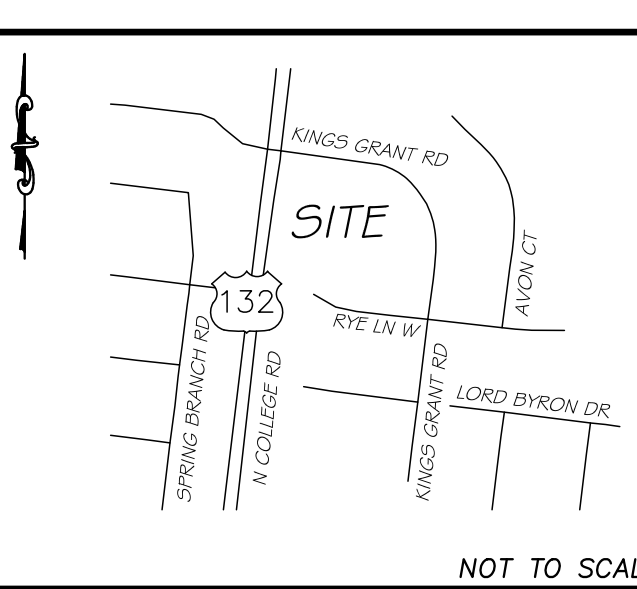


LOCATION MAP



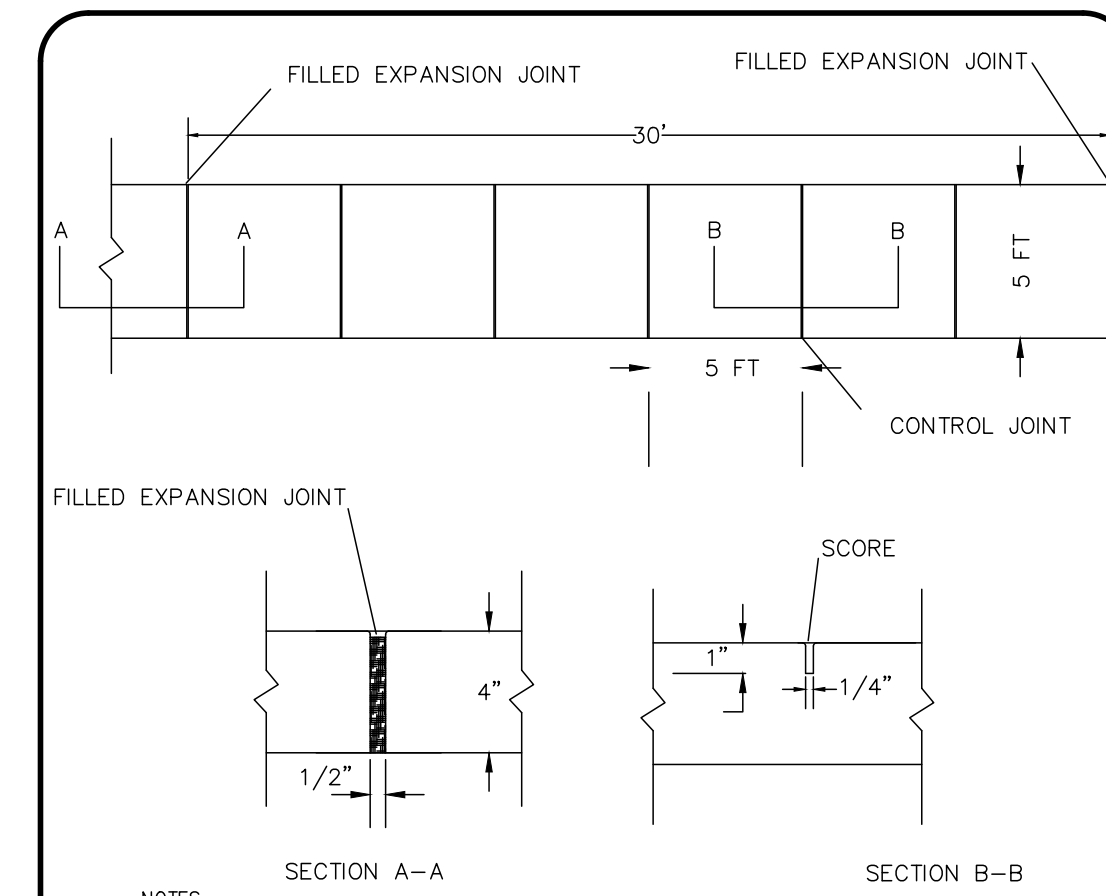
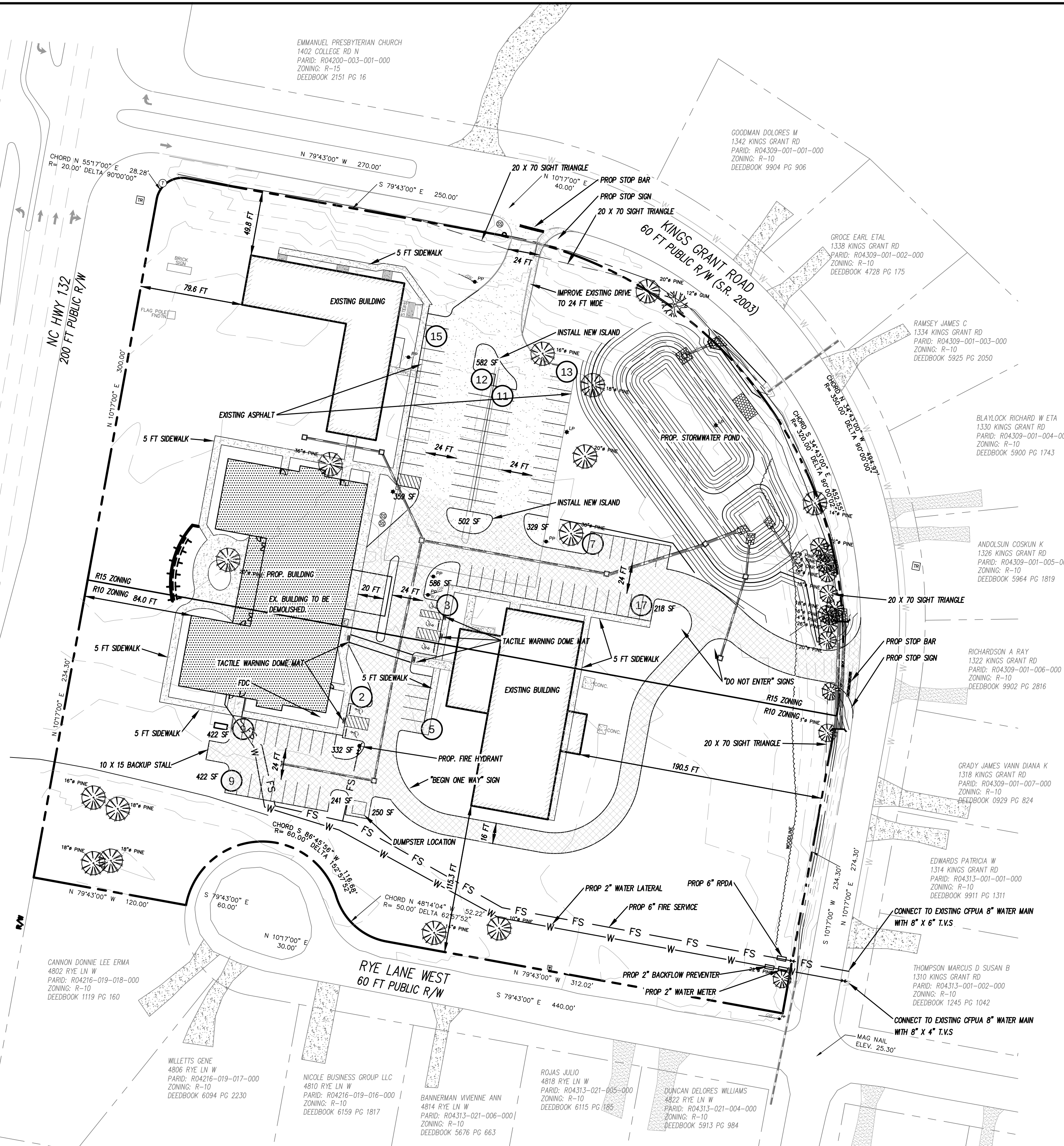
NOT TO SCALE

GENERAL NOTES:

1. NEW HANOVER COUNTY PARID: R04200-004-001-000
2. PROPERTY ADDRESS: 1380 N. COLLEGE ROAD
3. ZONING DISTRICT: R-10 & R-15
4. DEEDBOOK 6164 PAGE 1789
5. AREA: 299,095 SF (6.87 AC)
6. THIS SITE IS LOCATED WITHIN ZONE "X" AND "AE ELEV. 17.9" ACCORDING TO FEMA DFIRM MAP NUMBER 37203314900K DATED 8/28/18.
7. BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED AND PROVIDED TO CSD ENGINEERING BY POLARIS SURVEYING, PLLC
8. OFFICIAL WATER AND SEWER
9. SITE HAS SPECIAL USE APPROVAL UNDER (S17-03 DATED 12-29-2019)
10. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
11. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION. CALL U-LOCO AT 1-800-632-4949. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES, CURB AND GUTTER, SIDEWALK PANELS, PAVEMENT, ETC. THAT MAY BE DAMAGED DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OR WORKMANSHIP FOUND IN THE ORIGINAL ITEM.
12. SOLID WASTE DISPOSAL WILL BE TRASH DUMPSTER
13. ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE NHC ZONING ORDINANCE & SUBDIVISION REGULATIONS.
14. APPROVAL OF SITE PLAN DOES NOT CONSTITUTE APPROVAL OF PROPOSED SIGNAGE FOR THIS SITE. A SEPARATE SIGN PERMIT MUST BE OBTAINED.
15. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
16. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS OF WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET NHC AND/OR NCDOT STANDARDS.
17. TACTILE WARNING MATS ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.
18. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
19. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREA SHALL BE WHITE.
20. SECTION 510 EMERGENCY RESPONDER RADIO COVERAGE FOR THE NEW BUILDING REQUIRED.

LEGEND

- EXISTING BOUNDARY
- PROP BUILDING
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- EXISTING CONCRETE
- PROPOSED FENCE
- PROPOSED STORM DRAIN
- EXISTING CONTOUR
- EXISTING STORM DRAIN



NOTES

1. JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
2. SANITARY SEWER (CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE)
3. CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAINING A DRIVEWAY APRON) SHALL BE CLASS "A" - 5,000 PSI.
4. MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL.
5. 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS
6. MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"
7. MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1
8. MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2% MAX LONGITUDINAL SLOPE IS 8.3% 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

STANDARD SIDEWALK DETAIL

NOT TO SCALE

DEVELOPMENT NOTES:

PROPOSED LAND USE: OFFICE / ADULT DAY CARE
IMPERVIOUS SURFACES -

EXISTING	
BUILDINGS -	28,213 SF
SIDEWALKS -	2,419 SF
ASPHALT -	24,494 SF
TOTAL -	55,126 SF

PROPOSED	
EX. BLD -	19,863 SF
PROP. BLD -	19,441 SF
EX. SIDEWALK -	732 SF
PROP. SIDEWALKS -	9,396 SF
EX. ASPHALT -	17,668 SF
PROP. ASPHALT -	36,202 SF
TOTAL -	103,415 SF

PARKING:

- 1 SPACE PER EMPLOYEE ON LARGEST SHIFT, 1 SPACE PER (4) PARTICIPANTS
- 112 DAILY PARTICIPANTS
- LARGEST SHIFT 74 EMPLOYEES
- 112 / 4 = 28
- 74 + 28 = 102
- 102 SPACES SHOWN
- REQUIRED HANDICAP SPACES = 5
- PROVIDED HANDICAP SPACES = 5

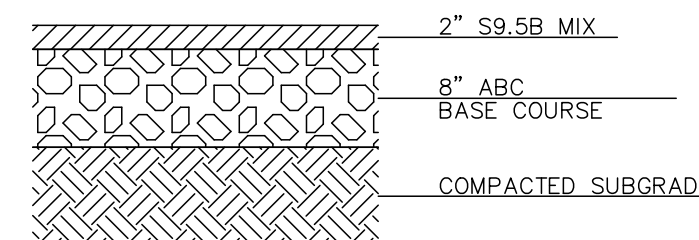
BUILDING HEIGHT: 28 FT

BUILDING TYPE: V-B

BUILDING SETBACKS:

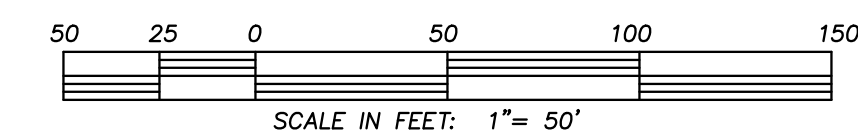
R-15	REQUIRED SETBACKS	PROPOSED SETBACKS
FRONT SETBACK: 25 FT	FRONT SETBACK: 25 FT	FRONT SETBACK: 190.5 FT
SIDE SETBACK: 10	SIDE SETBACK: 10	SIDE SETBACK: > 10
REAR SETBACK: 20	REAR SETBACK: 20	REAR SETBACK: > 20

R-10	REQUIRED SETBACKS	PROPOSED SETBACKS
FRONT SETBACK: 25 FT	FRONT SETBACK: 25 FT	FRONT SETBACK: 190.5 FT
SIDE SETBACK: 5	SIDE SETBACK: 5	SIDE SETBACK: > 5
REAR SETBACK: 20	REAR SETBACK: 20	REAR SETBACK: > 20



ASPHALT SECTION

NOT TO SCALE



ENGINEERING
LAND PLANNING
COMMERCIAL / RESIDENTIAL

P.O. BOX 4041
WILMINGTON, NC 28406
(910) 791-4441

SITE PLAN for
ELDERHAUS

ELDERHAUS
LOCATED IN HARNETT TOWNSHIP
NEW HANOVER COUNTY, NORTH CAROLINA
OWNER: ELDERHAUS INCORPORATED
2222 S. 17TH STREET
WILMINGTON, NC 28401



REV.	NO.	DATE	REMARKS
1		3-03-20	

DATE: 2-6-20
HORIZ. SCALE: 1" = 50'
VERT. SCALE: N/A
DRAWN BY: RLW
CHECKED BY: HSR
PROJECT NO.: 19-0481

Sheet No. **3** of **8**