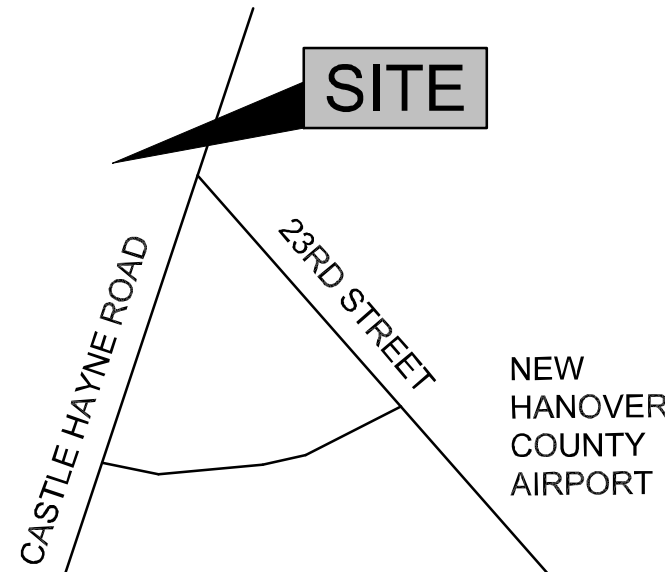


LOCATION MAP

NOT TO SCALE



Personal Service
Beauty Salon

102 FOREST LANE
WILMINGTON, NORTH CAROLINA 28401

NEW HANOVER COUNTY O&I ZONING

MINIMUM LOT SIZE - 15,000 SF
FRONT YARD SETBACK - 25'
LOT WIDTH MINIMUM - 90'
MAXIMUM HEIGHT - 40'
SIDE SETBACK = BUILDING HEIGHT X 2.75, NOT LESS THAN 25'
REAR SETBACK = BUILDING HEIGHT X 3.73, NOT LESS THAN 30'

Reference to Other Standards

Article 2: Measurements and Definitions
Section 5.1 Parking and Loading
Section 5.2 Traffic, Access, and Connectivity
Section 5.3 Tree Retention
Section 5.4 Landscaping and Buffering
Section 5.5 Exterior Lighting
Section 5.6 Signs
Section 5.7 Conservation Resources

Section 5.8 Open Space Requirements
Section 5.9 Fire Hydrants
Section 5.10 Airport Height Restriction
Article 6: Subdivision Design and Improvement
Article 7: Stormwater Management
Article 8: Erosion and Sedimentation Control
Article 9: Flood Damage Prevention
Article 11: Nonconforming Situation

FIRM INFORMATION:
NEW HANOVER COUNTY C/D: 370108, PROPERTY LOCATED ZONE "X"
MAP # 3720312900K DATED: 8/28/2018

BUILDING, LANDSCAPING & PARKING:

102 FOREST LANE
TOTAL AREA 2.54 AC. 110,563 SF
BUILDING AREA
MAIN BUILDING 3,601 SF
GARAGE 1,095 SF
OTHER IMPERVIOUS SURFACE 12,549 SF
TOTAL EXISTING 17,345 SF = 16% IMP. SURFACE AREA
PROPOSED PARKING AREA & DRIVE WIDENING:
PROPOSED 9,208 SF = 8% PROPOSED IMP. SURFACE AREA
PROPOSED IMPERVIOUS SURFACE AREA 24% - MAX. 40% ALLOWED
OPEN SPACE AREA
(1.93 Ac.) 84,010 SF
OPEN SPACE MINIMUM 35% - PROPOSED 76 %
MINIMUM PARKING SPACES PERMITTED:
3601/4000 = 9 MINIMUM SPACES
24 SPACES PROPOSED (2 HANDICAPPED)

IMPERVIOUS CALCULATIONS

STRUCTURE	SF
MAIN BUILDING	3601
GARAGE	1095
BREEZEWAY	373
EAST DECK	150
POOL DECK	1224
SIDEWALKS	572
MAIN DRIVE	7446
REAR DRIVE 1	1733
REAR DRIVE 2	616
CONCRETE PAD	159
PLAY HOUSE	94
SHED	247
CHICKEN COOP	35
TOTAL EXISTING	17345
TOTAL LOT AREA	110563
TOTAL EXISTING % IMPERVIOUS	16%
FOREST LANE WIDENING	1967
PROPOSED PARKING	7241
TOTAL PROPOSED	9208
TOTAL EXISTING & PROPOSED	26553
TOTAL LOT AREA	110563
TOTAL % IMPERVIOUS	24%

LANDSCAPE REQUIREMENT NOTES:

Buffers will be required between the new zoning district and the surrounding properties within residential districts (R-15). Existing vegetation can be credited if it meets the standards outlined below:

- The minimum width of these buffers is 20 feet consisting of:
 - a planted buffer strip (minimum of 6' in height + 100% opacity),
 - a combination of plantings and fencing (fencing 6-10' in height, if solid fence, two rows of plantings at 3' in height + 50% opacity, if permeable fence, two rows of plantings + 100% opacity within one year of planting), or
 - a combination of a berm and plantings (combined height of berm and plantings at a minimum of 6' in height and 100% opacity within one year of planting).

Parking lot interior plantings requirements associated with the proposed parking lot. At least 5% of the total area used for parking, loading, driveways, internal drive aisles, and other vehicular or pedestrian uses shall be landscaped.

- Once the width of the existing drive aisles is determined, these standards can be applied and shown on a landscape plan.
- Landscaped strips are also required along any side of a parking lot adjacent to street rights-of-way, separate parking lots, and Residential districts. The standards are outlined in Table 5.4.5.C of the UDO. However, the required buffers and landscaped strips can be incorporated into one in the same area if both of these requirements are met.

STREET YARD AREA STANDARDS:

18 sf FOR EVERY LINEAR FOOT OF STREET YARD FRONTAGE
176LF X 18sf = 3,168sf OF STREET YARD REQUIRED - 4,060sf PROVIDED

For every 600 square feet of street yard area, the following landscaping shall be provided:

- One canopy/shade tree a minimum of three inches (3") caliper in size OR three (3) understory trees a minimum of six (6") feet in height at time of planting, if overhead power lines are located above the street yard; and
- Six shrubs, 12" in height at time of planting.

FOUNDATION PLANTINGS

A. Foundation plantings located between the building face and the parking lot or drive aisle shall be required for all portions of buildings adjacent to parking lots or internal drive aisles.

B. The following minimum standards are required, though additional landscaping is encouraged:

- The foundation planting area shall be a minimum of 12 percent of the area of the building face adjacent to the parking area or internal drive; and
- The foundation planting area shall be landscaped areas of sufficient variety, height, and size, with plantings listed in "Tree and Plant Materials for Landscaping."

PRELIMINARY PLAN
NOT FOR RECORDATION OR CONVEYANCE

CONCEPT PLAN FOR
LESTER AND SUZANNE EDWARDS

LOCATED IN CAPE FEAR TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

OWNER: LESTER AND SUZANNE EDWARDS
102 FOREST LANE
WILMINGTON, N.C. 28401

HANOVER DESIGN SERVICES, P.A.
LAND SURVEYORS, ENGINEERS & LAND PLANNERS

1123 FLORAL PARKWAY
WILMINGTON, N.C. 28403
PHONE: (717) 343-4002
LICENSE # C4597



Date:

APRIL 2020

Scale:

HORIZ.: 1" = 40'

Drawn:

GW

Checked:

GW

Project No:

14939

Sheet No:

1

2

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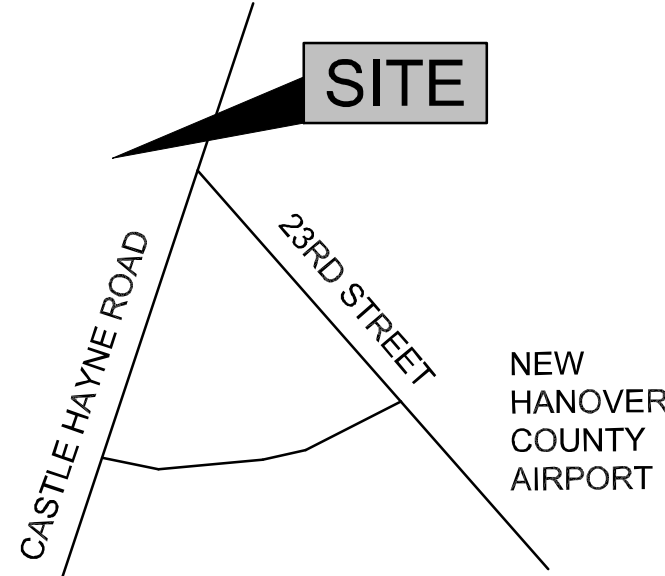
0 40 80 120

1" = 40'

NOTES:
1. SURVEYED IN MARCH-APRIL OF 2020.
2. ALL DISTANCES ARE HORIZONTAL.
3. AREA COMPUTED BY COORDINATE METHOD.
4. FOR REFERENCE SEE D.B. 2641 PAGE 608 AND MAP BOOK 31 PAGE 252.

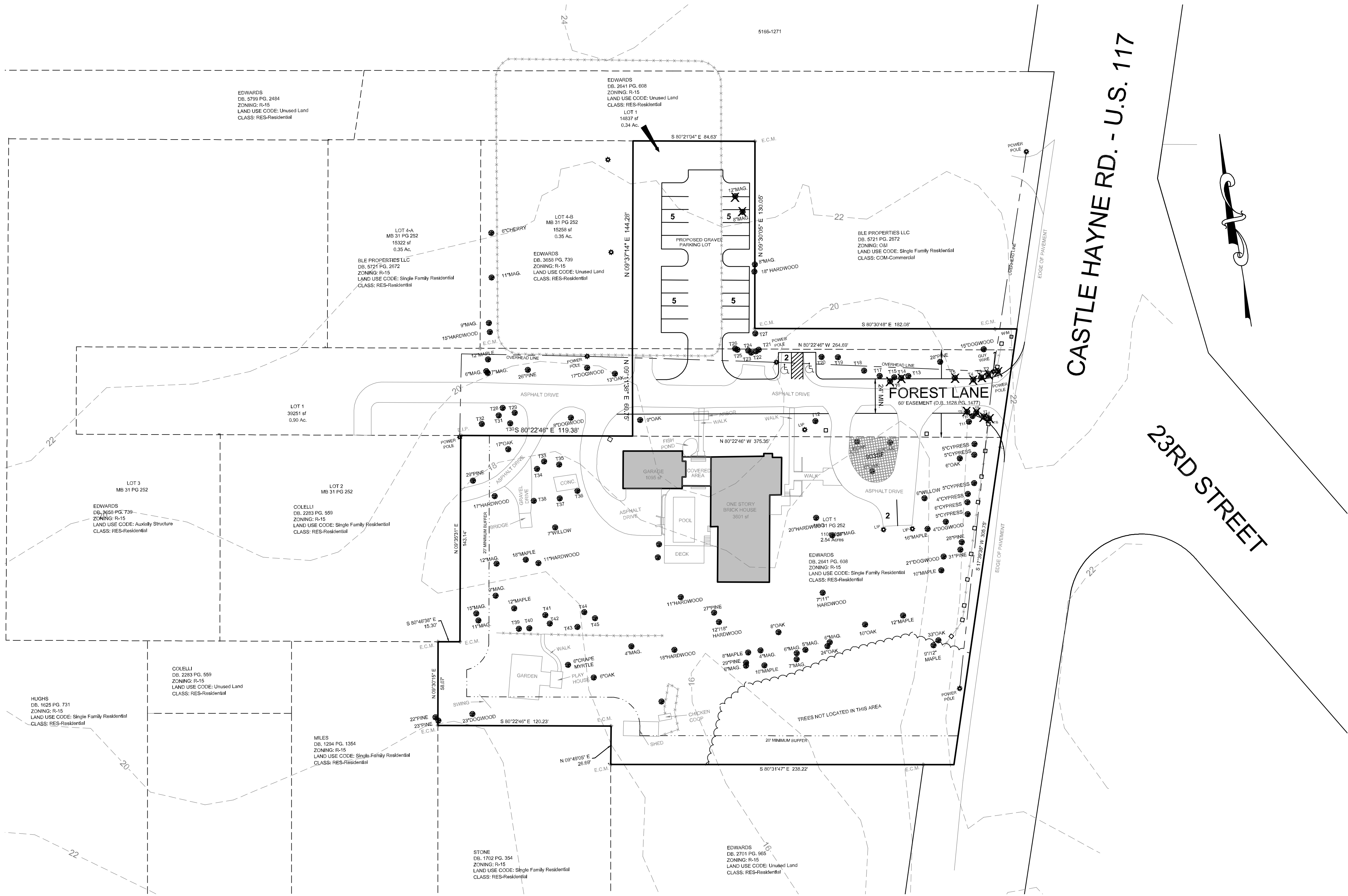
LOCATION MAP

NOT TO SCALE



Personal Service
Beauty Salon

102 FOREST LANE
WILMINGTON, NORTH CAROLINA 28401



TREE TABLE

- T1-8"HOLLY
- T2-5"HOLLY
- T3-7"HOLLY
- T4-5"HOLLY
- T5-22"DOGWOOD
- T6-8"HOLLY
- T7-6"HOLLY
- T8-7"HOLLY
- T9-6"HOLLY
- T10-28"PINE
- T11-8"/10"OAK
- T12-11"/12" HARDWOOD
- T13-9"HARDWOOD
- T14-6"MAG.
- T15-9"OAK
- T16-10"MAG.
- T17-8"MAG.
- T18-24"PINE
- T19-20"PINE
- T20-7"MAG.
- T21-5"MAG.
- T22-6"MAG.
- T23-5"MAG.
- T24-9"MAG.
- T25-7"MAG.
- T26-4"MAG.
- T27-23"MAG.
- T28-8"MAPLE
- T29-7"MAG.
- T30-7"MAG.
- T31-10"HARDWOOD
- T32-12"MAG.
- T33-21"HARDWOOD
- T34-9"MAG.
- T35-10"MAG.
- T36-15"OAK
- T37-11"MAG.
- T38-4"MAG.
- T39-14"MAPLE
- T40-17"MAPLE
- T41-12"MAPLE
- T42-11"MAPLE
- T43-12"MAPLE
- T44-13"MAPLE
- T45-20"PINE

PRELIMINARY PLAN
NOT FOR RECORDATION OR CONVEYANCE

EXISTING CONDITIONS AND TREE SURVEY
LESTER AND SUZANNE EDWARDS

LOCATED IN THE TOWN OF SHALLOTTE NORTH CAROLINA

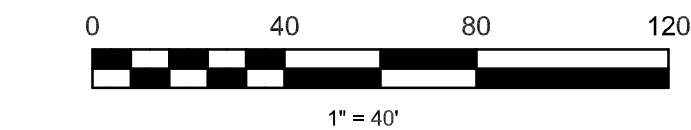
LESTER EDWARDS
1905 CASTLE HAYNE ROAD
WILMINGTON, N.C.

HANOVER DESIGN SERVICES, P.A.
LAND SURVEYORS, ENGINEERS & LAND PLANNERS

1123 FLORAL PARKWAY
WILMINGTON, N.C. 28403
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Project No:	14939
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2	



REV. NO.	REVISIONS	DATE

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