

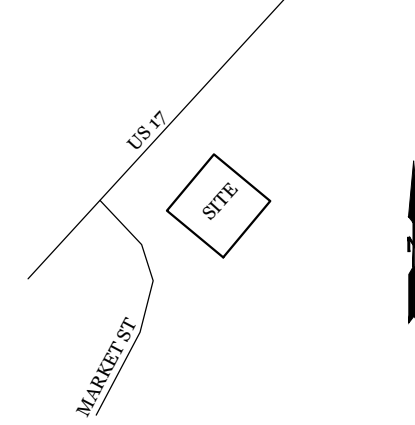
SITE DATA

PARCEL ID: Ro2900-003-032-000
CURRENT ZONING: RMF-L(CZD) & CB(CZD)
PROJECT ADDRESS: 8814 MARKET ST
WILMINGTON, NC 28411
CURRENT OWNER: REDLAND DEVELOPMENT INC.
6622A GORDON ROAD
WILMINGTON, NC 28411
TOTAL ACREAGE IN PROJECT BOUNDARY: 311,484 S.F. (7.15 AC.)
EXISTING IMPERVIOUS AREA: 0 S.F. (SITE IS VACANT)

- SITE NOTES:**
- ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH NEW HANOVER COUNTY LAND DEVELOPMENT CODE.
 - PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE & NEW HANOVER COUNTY REGULATIONS.
 - EXISTING SURVEY INFORMATION PROVIDED BY GARY W. KEYES LAND SURVEYING, PC. THIS LOT IS LOCATED IN ZONE X AS PER FIRM COMMUNITY# 370168, MAP# 3720326000K, EFFECTIVE ON 08/28/2018.
 - NO WETLANDS EXIST ON SITE.

- TREE PRESERVATION NOTES:**
- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES.
 - NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.

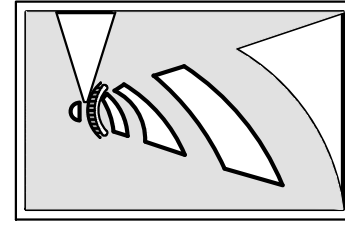
VICINITY MAP (NOT TO SCALE):



REVISIONS

NO.	DATE	DESCRIPTION

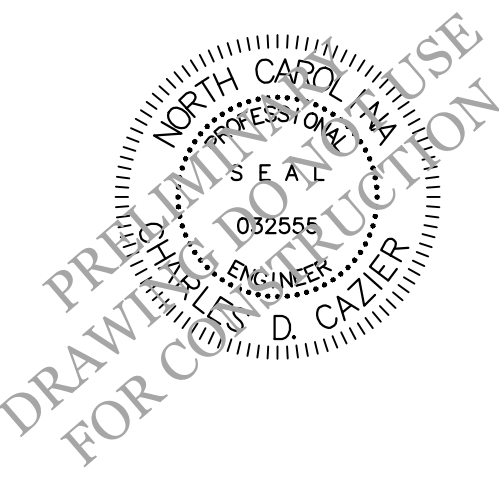
**INTRACOASTAL
ENGINEERING, PLLC**
5725 Olander Dr. Unit E-7
Wilmington, North Carolina 28403
Phone: 910.859.8983
Email: Charlie@intracoastalengineering.com
License Number: P-0662



EXISTING CONDITIONS
& TREE REMOVAL PLAN

FOR
THE PINNACLE

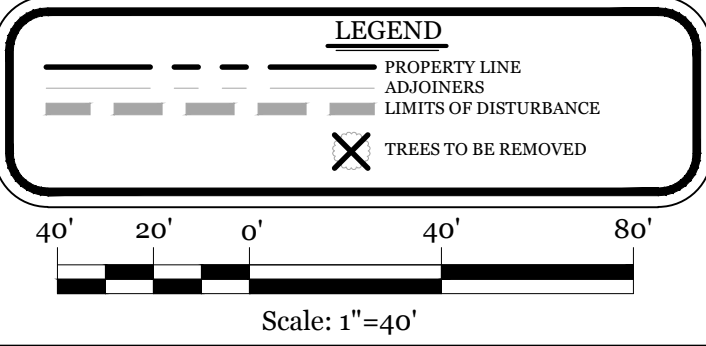
NEW HANOVER COUNTY, NC

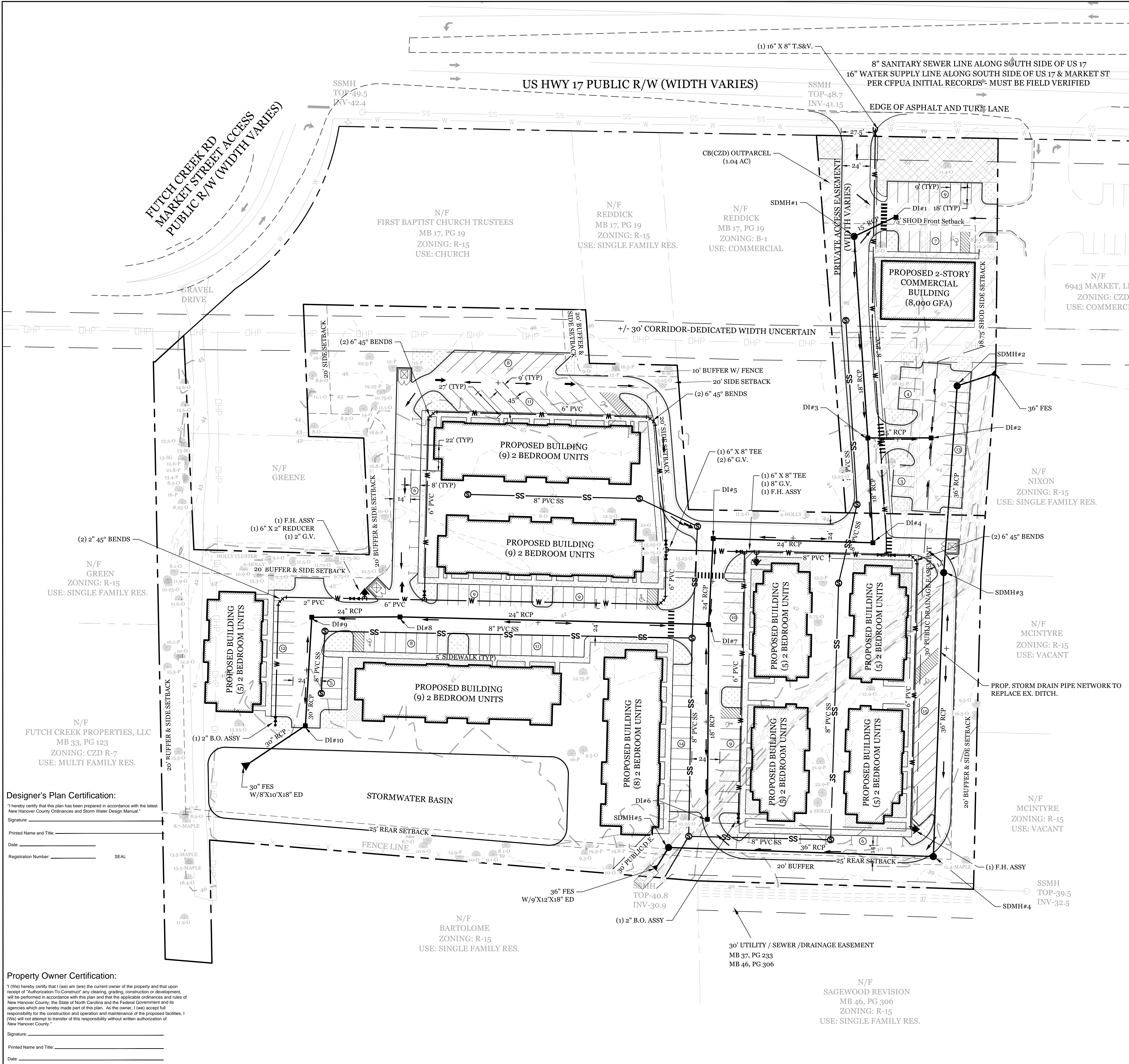


CLIENT INFORMATION:
Redland Development, INC
6622-A Gordon Rd.
Wilmington, NC 28405

DRAWN:	JAE	SHEET SIZE:	24x36
CHECKED:	CDC	DATE:	10/14/2020
APPROVED:	CDC	SCALE:	1" = 40'
PROJECT NUMBER:	2019-029		

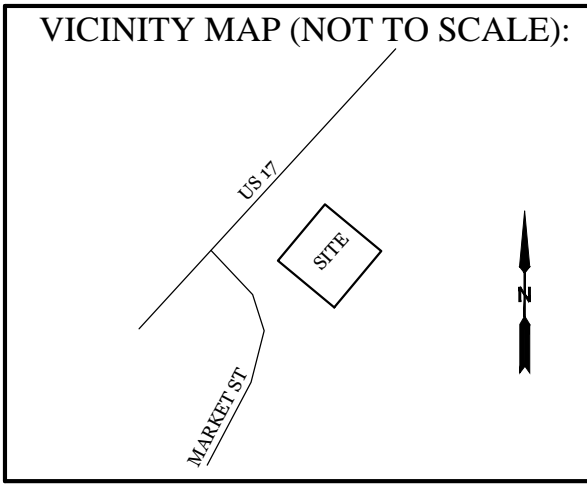
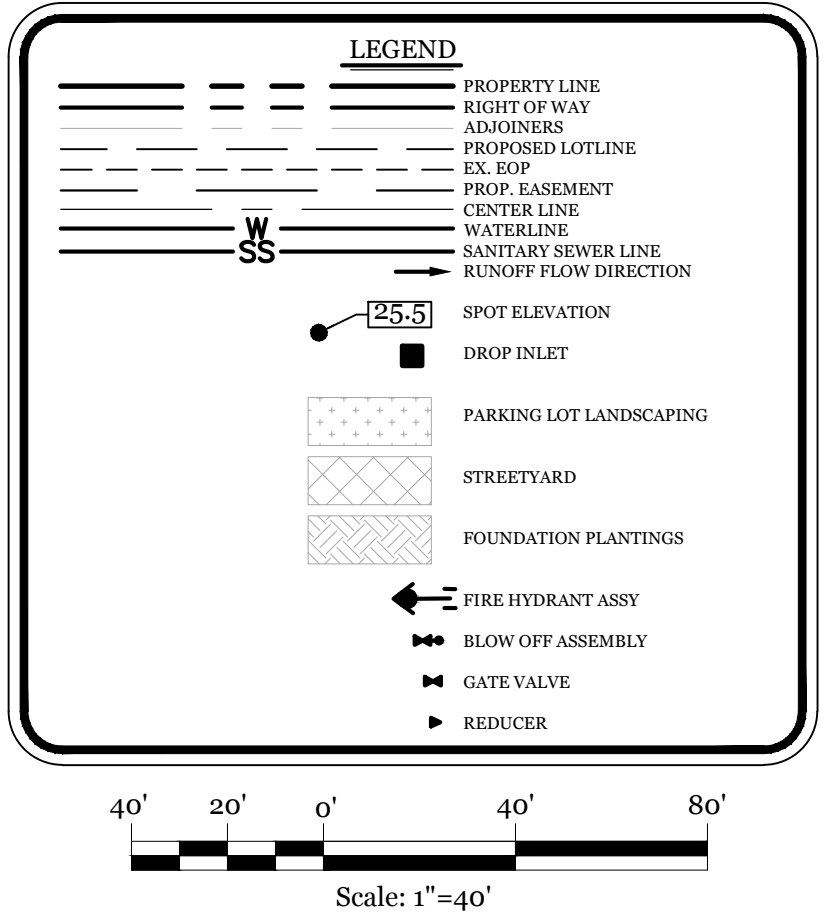
DRAWING NUMBER: **C-0**
1 OF 3





SITE DATA	
PARCEL ID:	R02900-003-032-000
CURRENT ZONING:	RMF-L(CZD) & CB(CZD)
PROJECT ADDRESS:	8814 MARKET ST WILMINGTON, NC 28411
CURRENT OWNER:	REDLAND DEVELOPMENT INC. 6622A GORDON ROAD WILMINGTON, NC 28411
TOTAL ACREAGE IN PROJECT BOUNDARY:	311,484 S.F. (7.15 AC.)
RMF-L(CZD) ACREAGE:	266,219 S.F. (6.11 AC.)
CB(CZD) ACREAGE:	45,265 (1.04 AC.)
PROPOSED USE (RMF-L CZD)	RESIDENTIAL TOWN HOMES
DENSITY:	60 DU/6.11 AC.= 9.8 DU/AC
PROPOSED USE (CB CZD):	RETAIL/OFFICE/PERSONAL SERVICES
BUILDING SIZE(CB CZD):	8,000 SF GFA
CALCULATION FOR BUILDING COVERAGE (CB CZD):	
PROPOSED COVERAGE	8,000 S.F. ÷ 45,265 S.F. = 17.7 %
BUILDING HEIGHT (ALL BUILDINGS):	2-STORY (35' MAX)
PROPOSED IMPERVIOUS AREAS:	
BUILDINGS	57,793 S.F.
ASPHALT PARKING	83,330 S.F.
CONCRETE SIDEWALK, C&G, ETC.	13,790 S.F.
TOTAL	154,853 S.F. (49.7%)
PARKING REQUIRED (CB CZD): (1 Space per 400 S.F.):	20 SPACES
PARKING PROVIDED (CB CZD):	36 SPACES (2 ADA)
PARKING REQUIRED (RMF-L CZD): (2 Space per D.U.):	120 SPACES
PARKING PROVIDED (RMF-L CZD):	133 SPACES (5 ADA)
INTERIOR PARKING AREA REQUIREMENT: (8% OF PARKING AREA)	
REQUIRED: 83,330 S.F. X .08 =	6,666 S.F.
PROVIDED:	9,000 S.F.
STREETYARD REQUIREMENT: 37.5' (18.75' MIN & 56.25' MAX WIDTH)	
REQUIRED: 155.75'-27.5' = 128.25' X 37.5' =	4,809 S.F.
PROVIDED:	4,825 S.F.
ESTIMATED TRIP GENERATION (Per Trip Generation Manual):	
60 D.U. (ITE CODE 230)	
AM PEAK: 26	PM PEAK: 31 DAILY: 349
8,000 SF OFFICE (ITE CODE 710)	
AM PEAK: 12	PM PEAK: 12 DAILY: 88
TOTAL TRIPS:	
AM PEAK: 38	PM PEAK: 43 DAILY: 437
EXISTING SEWER AND WATER DEMAND:	0 GPD
PROPOSED SEWER AND WATER DEMAND:	14,900 GPD
TOTAL OPEN SPACE REQUIREMENT: (20% OF RMF-L CZD SITE AREA)	
6.11 AC. X 20% =	1.2 AC
PROVIDED:	1.2 AC

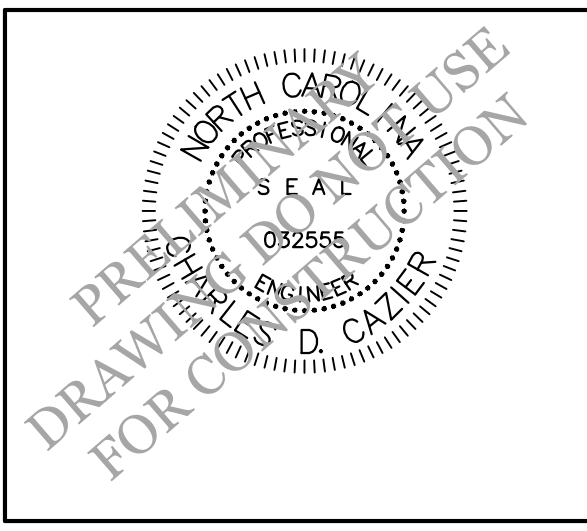
- DEVELOPMENT NOTES:
- ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH NEW HANOVER COUNTY LAND DEVELOPMENT CODE.
 - PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE & NEW HANOVER COUNTY REGULATIONS.
- FIRE & SAFETY NOTES:
- PARKING AND LANDSCAPING CANNOT BLOCK FIRE HYDRANTS.
 - ALL WEATHER ACCESS ROAD MUST BE MAINTAINED AROUND CONSTRUCTION SITE AT ALL TIMES.



REVISIONS

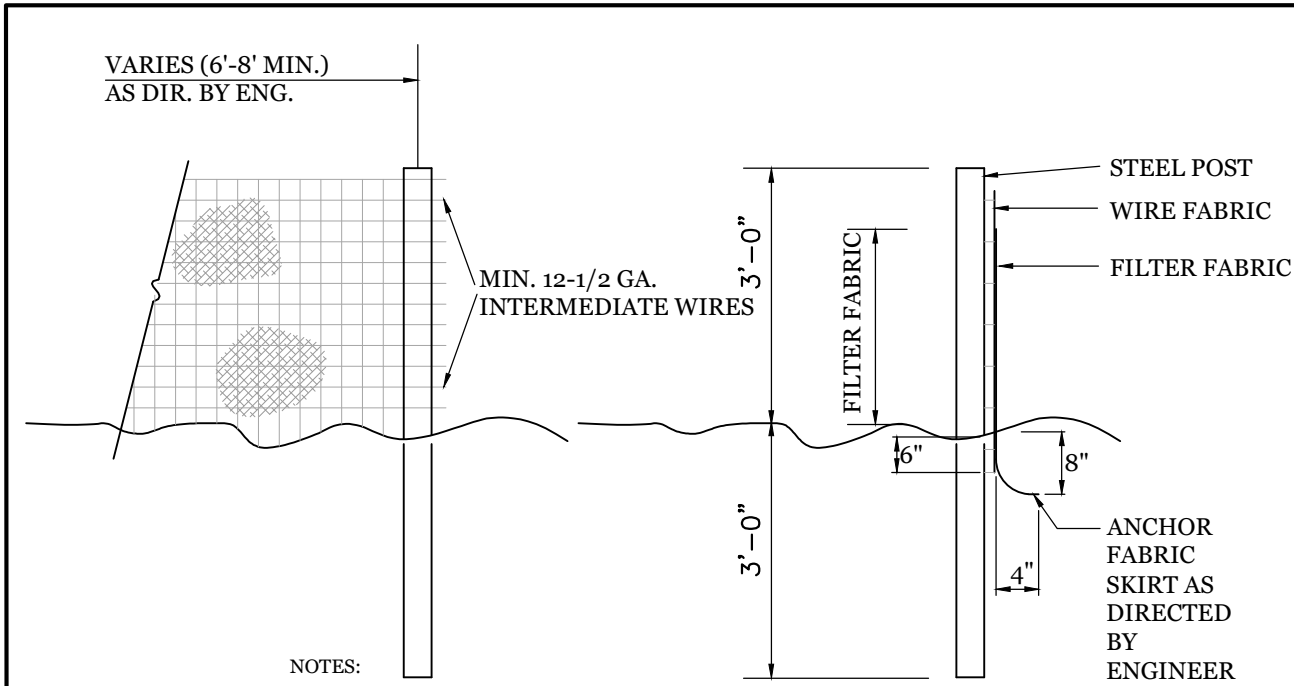
INTRACOASTAL ENGINEERING, PLLC
5725 Olander Dr. Unit E-7
Wilmington, North Carolina 28403
Phone: 910.859.8983
Email: Charlie@intracoastalengineering.com
License Number: P-0662

PRELIMINARY SITE PLAN
FOR
THE PINNACLE
NEW HANOVER COUNTY, NC



CLIENT INFORMATION:
Redland Development, INC
6622-A Gordon Rd.
Wilmington, NC 28405

DRAWN:	JAE	SHEET SIZE:	24x36
CHECKED:	CDC	DATE:	10/14/2020
APPROVED:	CDC	SCALE:	1" = 40'
PROJECT NUMBER:	2019-029		



- NOTES:
1. FENCE FABRIC SHALL BE A MIN. OF 32" IN WIDTH AND SHALL HAVE A MIN. OF SIX LINE WIRES WITH 12" STAY SPACING.
 2. FABRIC SHALL BE FOR EROSION CONTROL AND MIN. OF 36" IN WIDTH. FABRIC SHALL BE FASTENED ADEQUATELY TO THE WIRE FABRIC AS DIRECTED BY THE ENGINEER.
 3. STEEL POST SHALL BE 5'-0" IN HEIGHT AND BE OF THE SELF-FASTENER STEEL ANGLE TYPE.

TEMPORARY SILT FENCE

NTS

CONSTRUCTION SPECIFICATIONS:

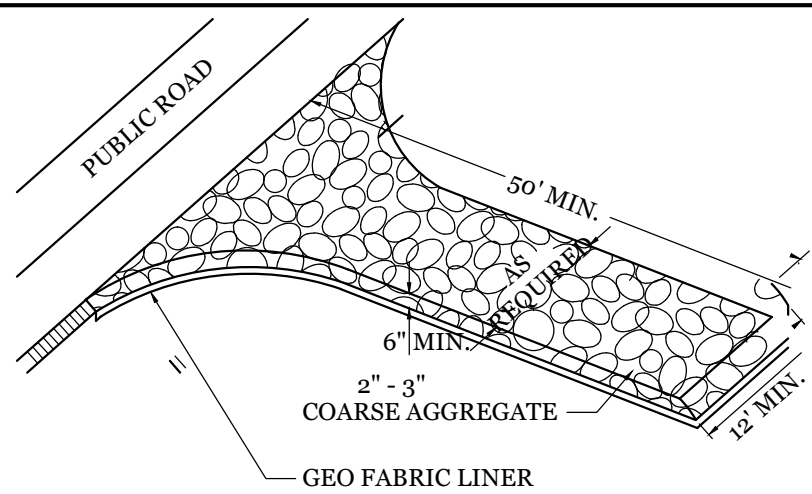
1. UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING THE INLET.
2. DRIVE 5-FOOT STEEL POSTS 2 FEET INTO THE GROUND SURROUNDING THE INLET. SPACE POSTS EVENLY AROUND THE PERIMETER OF THE INLET, A MAXIMUM OF 4 FEET APART.
3. SURROUND THE POSTS WITH WIRE MESH HARDWARE CLOTH. SECURE THE WIRE MESH TO THE STEEL POSTS AT THE TOP, MIDDLE, AND BOTTOM. PLACING A 2-FOOT FLAP OF WIRE MESH UNDER THE GRAVEL FOR ANCHORING IS RECOMMENDED.
4. PLACE CLEAN GRAVEL (NCDOT #5 OR #57 STONE) ON A 2:1 SLOPE WITH A HEIGHT OF 16 INCHES AROUND THE WIRE, AND SMOOTH TO AN EVEN GRADE.
5. ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDIMENT, AND ESTABLISH FINAL GRADING ELEVATIONS.
6. COMPACT THE AREA PROPERLY AND STABILIZED IT WITH GROUND COVER.

MAINTENANCE:

INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (6 INCH OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED.

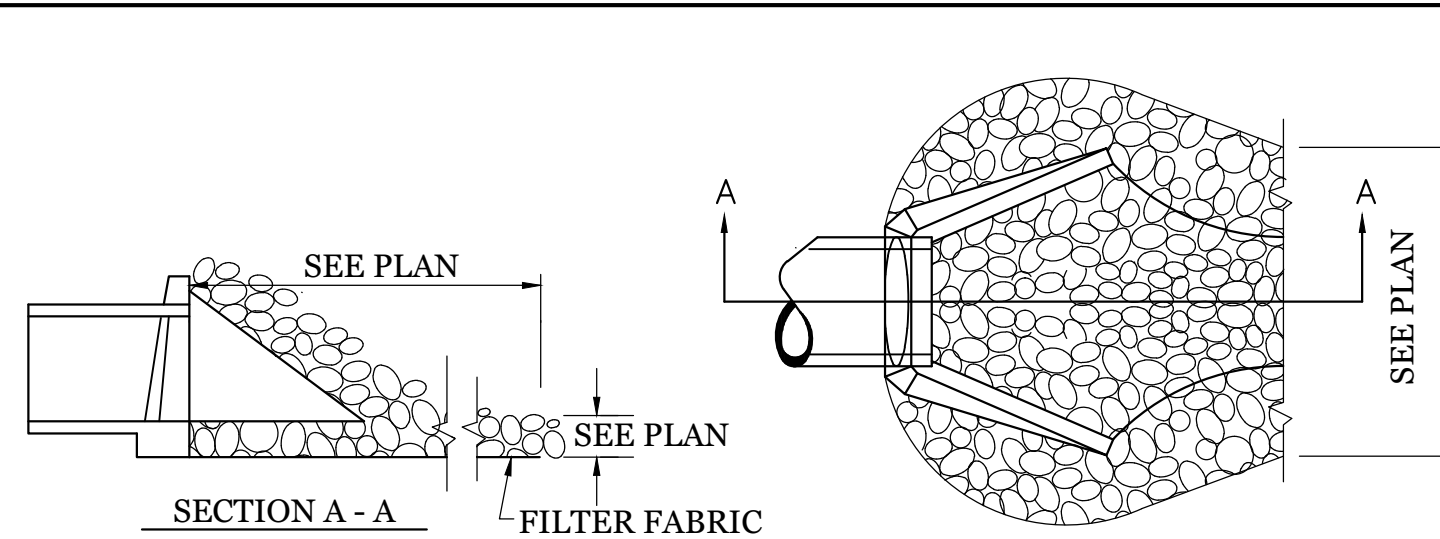
HARDWARE CLOTH AND GRAVEL INLET PROTECTION

NTS



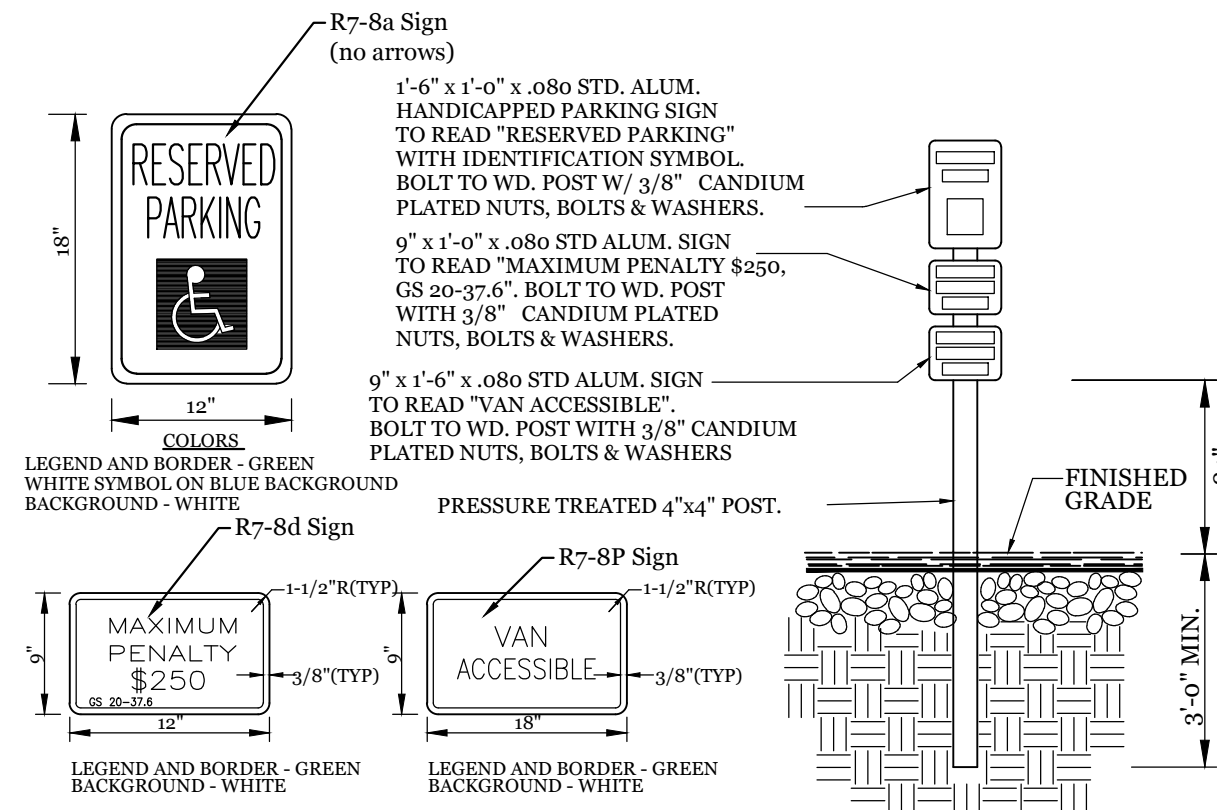
TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

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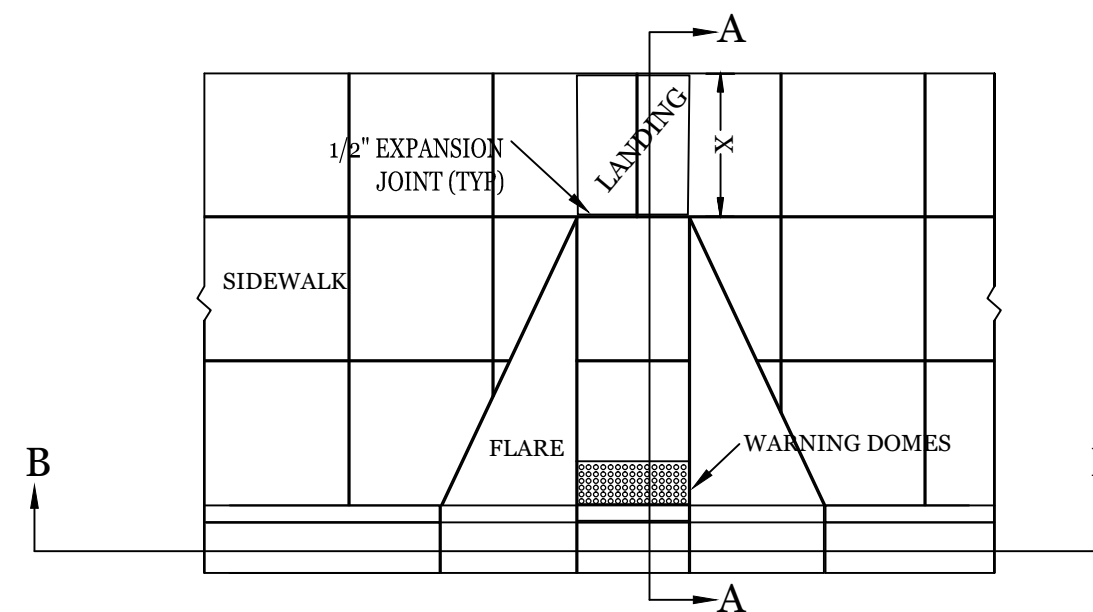
ENERGY DISSIPATOR

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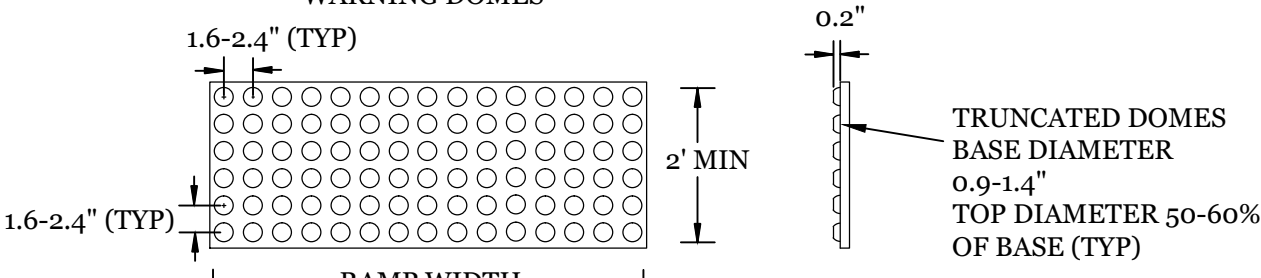
TYPICAL HANDICAPPED SIGN DETAIL

NTS



SECTION A-A

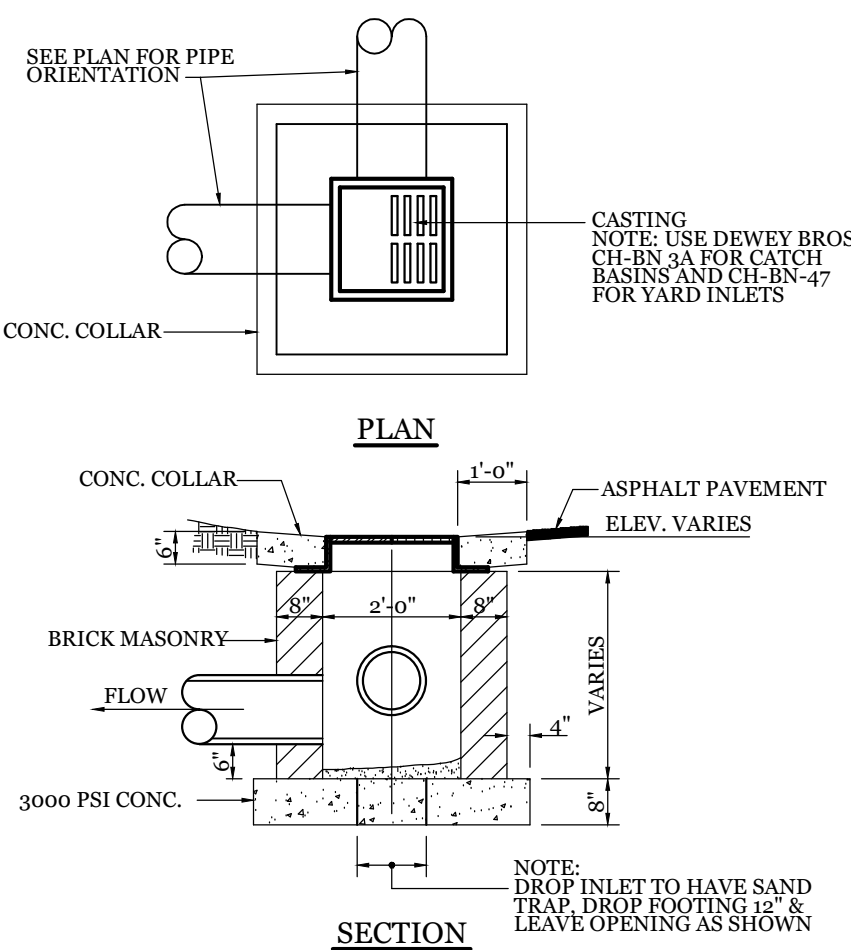
WARNING DOMES



- WARNING DOME NOTES:
1. USE CONTRASTING COLORS, RED OR BLACK ON WHITE PAVEMENT.
 2. USE CAST IN PLACE PAVERS FOR NEW CONSTRUCTION.
 3. RUBBER MATS ARE PERMITTED FOR RETROFITS.
 4. LANDING AND RAMP WIDTH MAY BE REDUCED TO 3' WHERE SPACE IS LIMITED AND DESIGN IS APPROVED BY THE CITY ENGINEER.

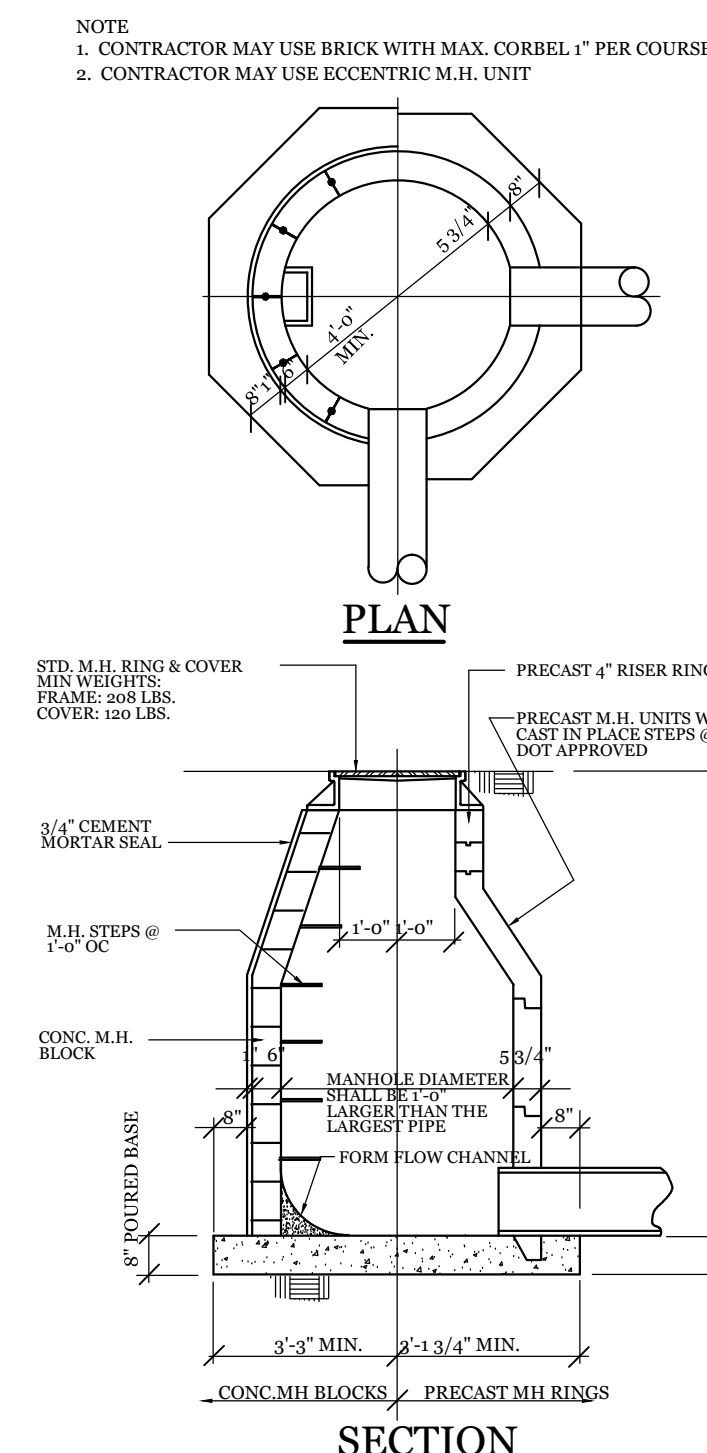
WHEEL CHAIR RAMP DETAIL

NTS



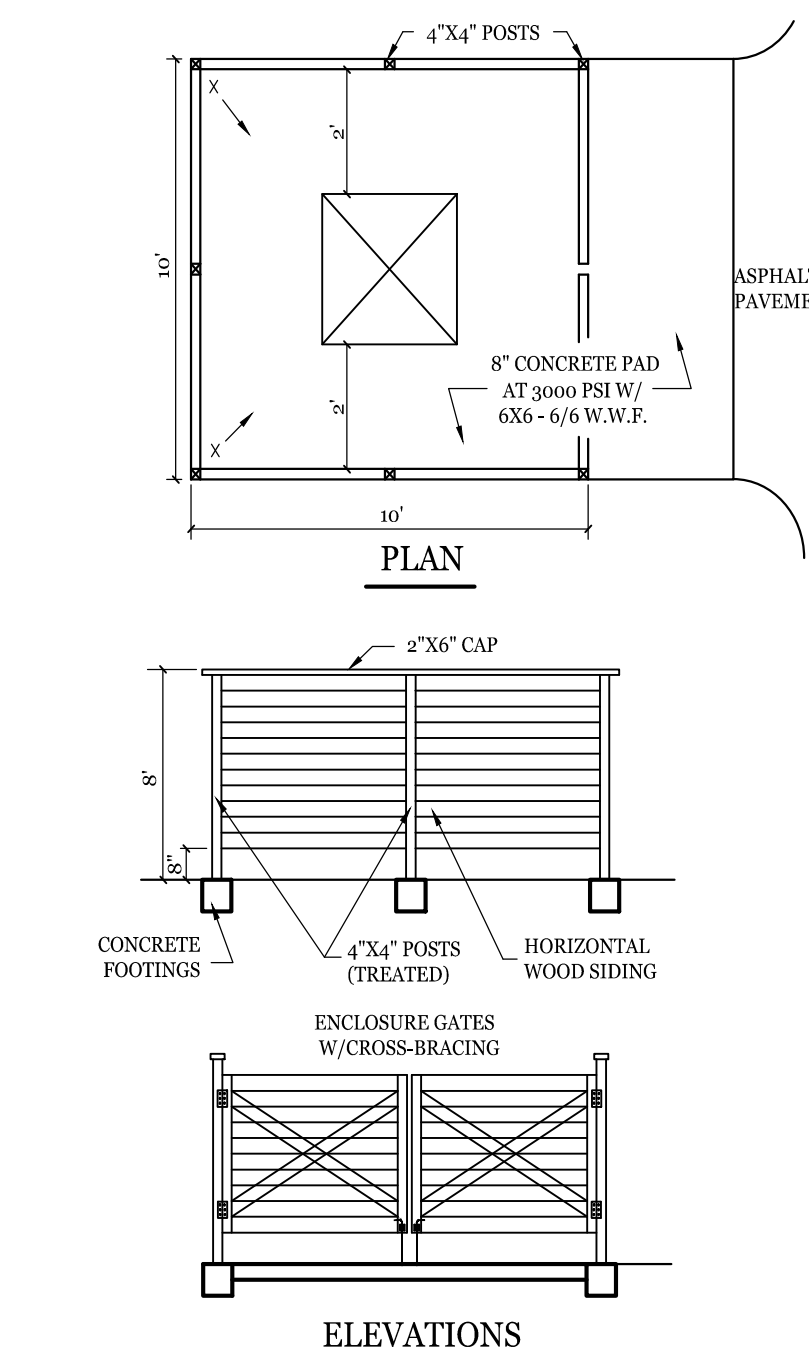
DROP INLET DETAIL

NTS



STORM DRAIN MANHOLE DETAIL

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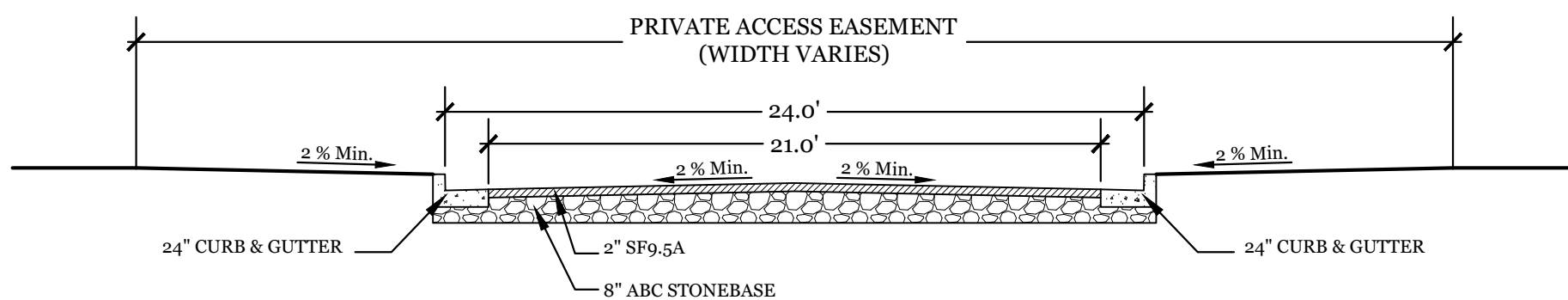


DUMPSTER PAD & ENCLOSURE DETAIL

NTS

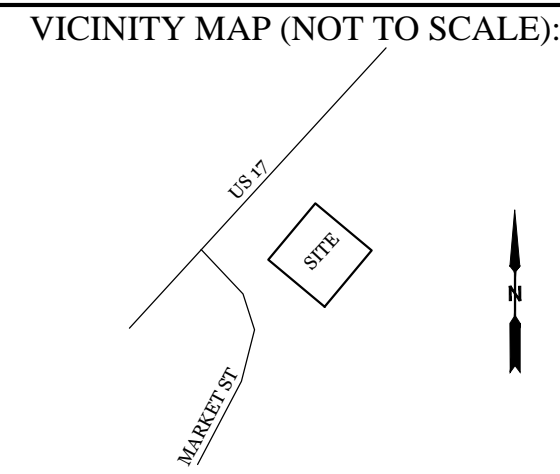
SITE WORK NOTES:

1. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BOTH ON AND ADJACENT TO THE SITE.
2. CLEARING: CONTRACTOR SHALL REMOVE ALL TREES AND VEGETATION WITHIN LIMITS OF CONSTRUCTION UNLESS OTHERWISE DESIGNATED TO REMAIN.
3. GRUBBING AND STRIPPING: CONTRACTOR SHALL RAKE AND REMOVE ROOTS, STUMPS, VEGETATION, DEBRIS, EXISTING STRUCTURES ABOVE AND BELOW GRADE, ORGANIC MATERIAL OR ANY OTHER UNSUITABLE MATERIAL WITHIN LIMITS OF CONSTRUCTION.
4. MUCKING: CONTRACTOR SHALL COORDINATE WITH OWNER AND THEIR GEOTECHNICAL REPRESENTATIVE TO COORDINATE REMOVAL OF ANY SOFT AREAS.
5. DISPOSAL: CLEARED, GRUBBED, STRIPPED OR OTHER WASTE MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A PROPERLY PERMITTED FACILITY.
6. FILL AND COMPACTION SHOULD COMPLY WITH GEOTECHNICAL RECOMMENDATIONS.
7. THE CONTRACTOR SHALL NOTE THAT THE GRADING PLAN MAY NOT REPRESENT A BALANCED EARTHWORK CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUT AND FILL QUANTITIES AND COMPLETE INSTALLATION TO SPECIFIED GRADES.
8. THE CONTRACTOR SHALL FURNISH SUITABLE BORROW MATERIAL FROM AN OFF-SITE PROPERLY PERMITTED FACILITY AS REQUIRED.
9. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES AT ALL CROSSINGS PRIOR TO COMMENCING TRENCH EXCAVATION. IF ACTUAL CLEARANCES ARE LESS THAN INDICATED ON PLAN, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. ANY CONDITION DISCOVERED OR EXISTING THAT WOULD NECESSITATE A MODIFICATION OF THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
10. NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NC ONE-CALL" AT LEAST 48 HOURS BEFORE COMMENCING CONSTRUCTION.
11. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. BEFORE COMMENCING ANY EXCAVATIONS IN OR ALONG ROADWAYS OR RIGHT-OF-WAYS, PUBLIC AREAS OR IN PRIVATE EASEMENTS, THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE PERSONNEL OF THEIR INTENT TO EXCAVATE, IN WRITING, NOT LESS THAN 10 DAYS PRIOR TO EXCAVATING.
12. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE DISCONNECTION/ RECONNECTION AND/OR THE RELOCATION OF ALL EXISTING UTILITIES WITH APPROPRIATE PERSONNEL.
13. CONTRACTOR SHALL ADJUST ALL MANHOLES, VALVE & CURB BOXES TO FINAL GRADE UPON COMPLETION OF ALL CONSTRUCTION. ANY BOXES DAMAGED OR OTHERWISE DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
14. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AT THE SITE. FURTHERMORE THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES OR QUESTIONS TO THE ENGINEER PRIOR TO INSTALLATION.
15. THE CONTRACTOR SHALL PROVIDE ANY AND ALL LAYOUT REQUIRED TO CONSTRUCT HIS WORK UNLESS OTHERWISE DIRECTED BY OWNER.
16. ALL SERVICE CONNECTIONS SHALL BE INSTALLED TO MEET ALL LOCAL, STATE, AND CPUPA CODES. METERS, TAPS, MATERIALS, WORKMANSHIP AND ALL FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL COMPLY WITH ALL REQUIREMENTS.
17. ALL BACKFILL FROM UTILITY INSTALLATION MUST BE COMPACTED OR AMENDED TO PROVIDE TRAFFIC BEARING CAPACITY. GEOTECHNICAL ENGINEER TO BE CONSULTED AT CONTRACTORS COST AS NECESSARY.
18. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO INSTALLATION. ALL AREAS SHALL BE SLOPED TO DRAIN AWAY FROM BUILDINGS AT ALL TIMES.
19. CONCRETE FOR WALKS, CURBS AND DRIVES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS - AIR ENTRAINED.
20. FIELD TESTING SHALL BE DONE BY AN INDEPENDENT TESTING LABORATORY PAID FOR BY THE OWNER. FURTHER TESTING REQUIRED DUE TO A FAILED TEST WILL BE PAID FOR BY THE CONTRACTOR.
21. ALL SIDEWALKS SHALL BE FREE OF CRACKS, BREAKS, OR ANY OTHER DEFECT PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.



PRIVATE ACCESS EASEMENT SECTION A-A

NTS

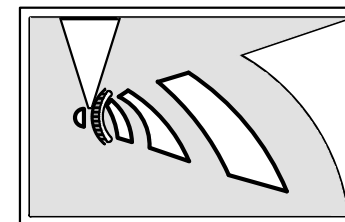


REVISIONS

NO.	DESCRIPTION	DATE

INTRACOASTAL ENGINEERING, PLLC

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Wilmington, North Carolina 28403
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License Number: P-0662

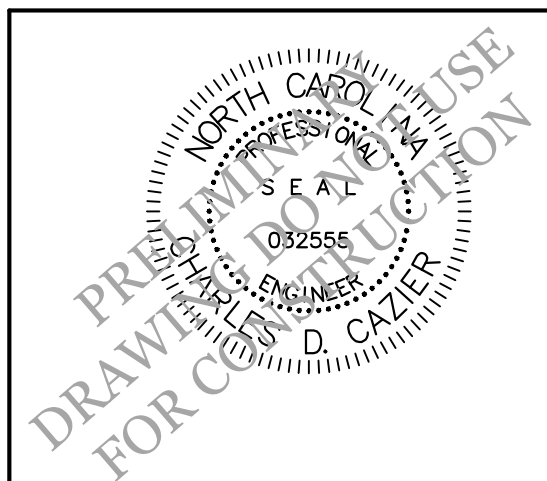


DETAILS

FOR

THE PINNACLE

NEW HANOVER COUNTY, NC



CLIENT INFORMATION:

Redland Development, INC
6622-A Gordon Rd.
Wilmington, NC 28405

DRAWN:	JAE	SHEET SIZE:	24X36
CHECKED:	CDC	DATE:	10/14/2020
APPROVED:	CDC	SCALE:	NTS
PROJECT NUMBER:	2019-029		

DRAWING NUMBER:

C-2