

GENERAL NOTES

1. THIS IS A BOUNDARY SURVEY AND EXHIBIT MAP.
2. BEARINGS FOR THIS MAP ARE REFERENCED TO N.C. GRID NORTH (NAD 83 / 2011).
3. VERTICAL DATUM FOR THIS MAP IS REFERENCED TO NAVD 88 DATUM.
4. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
5. UNITS ARE U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
6. AREA BY COORDINATE GEOMETRY.
7. NO GRID MONUMENTS FOUND WITHIN 2000' OF SITE.
8. THIS SURVEY PERFORMED AND MAP PREPARED WITHOUT BENEFIT OF A TITLE REPORT. THIS SURVEY SUBJECT TO ANY FACTS AND EASEMENTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
9. FLOOD NOTE: AS DETERMINED BY GRAPHIC PLOTTING, THIS PROPERTY APPEARS TO BE LOCATED IN FLOOD HAZARD ZONE "X" (MINIMAL FLOOD RISK) PER FEMA FLOOD INSURANCE RATE MAP #3720314900 K, EFFECTIVE DATE AUGUST 28, 2018.
10. UTILITY STATEMENT: THE UNDERGROUND UTILITIES SHOWN (IF ANY) HAVE BEEN LOCATED FROM COUNTY GIS INFORMATION, EXISTING DRAWINGS & FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED, OR THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
11. COUNTY PARCEL TAX ID'S: R03511-004-065-000 AND R03511-004-066-000.
12. SITE ZONING: "R-15" (RESIDENTIAL).
13. TOTAL SITE AREA: 162,607 SQUARE FEET (3.73 ACRES).
14. BUILDING SETBACKS PER NEW HANOVER COUNTY ZONING: FRONT: 25' SIDE: 10' REAR: 20'
15. SITE ADDRESSES: 1236 AND 1250 SHENANDOAH STREET, WILMINGTON, NC 28411.
16. PROPERTY OWNERS PER DEED BOOK 1378, PAGE 1024: COASTAL CAROLINA DEVELOPERS, INC. P.O. BOX 3215 WILMINGTON, NC 28406

CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT CHORD BEARING	CHORD LENGTH
C1	158.16'	82.41'	89.40°	46.28' N 34°31'59" E	82.33'
C2	458.83'	10.40'	177.57°	5.20' N 37°54'00" E	10.40'

SYMBOL LEGEND:

- EIP ● EXISTING IRON PIPE
- EIR ● EXISTING IRON ROD
- ECM ■ EXISTING CONCRETE MONUMENT
- EMN ▲ EXISTING MAG NAIL
- RBS ○ REBAR SET

LINE TYPE LEGEND:

- SURVEYED LINES (BOUNDARY)
- - - LINES PER RECORD DATA
- · - · LINES NOT SURVEYED (ADJOINERS)
- - - - - RIGHT-OF-WAY

ABBREVIATIONS:

- | | | | |
|-----|--------------------------|----|-----------|
| EIP | EXISTING IRON PIPE | MB | MAP BOOK |
| EIR | EXISTING IRON PINCH PIPE | DB | DEED BOOK |
| ECM | REBAR SET | PG | PAGE |
| RBS | REBAR SET | | |

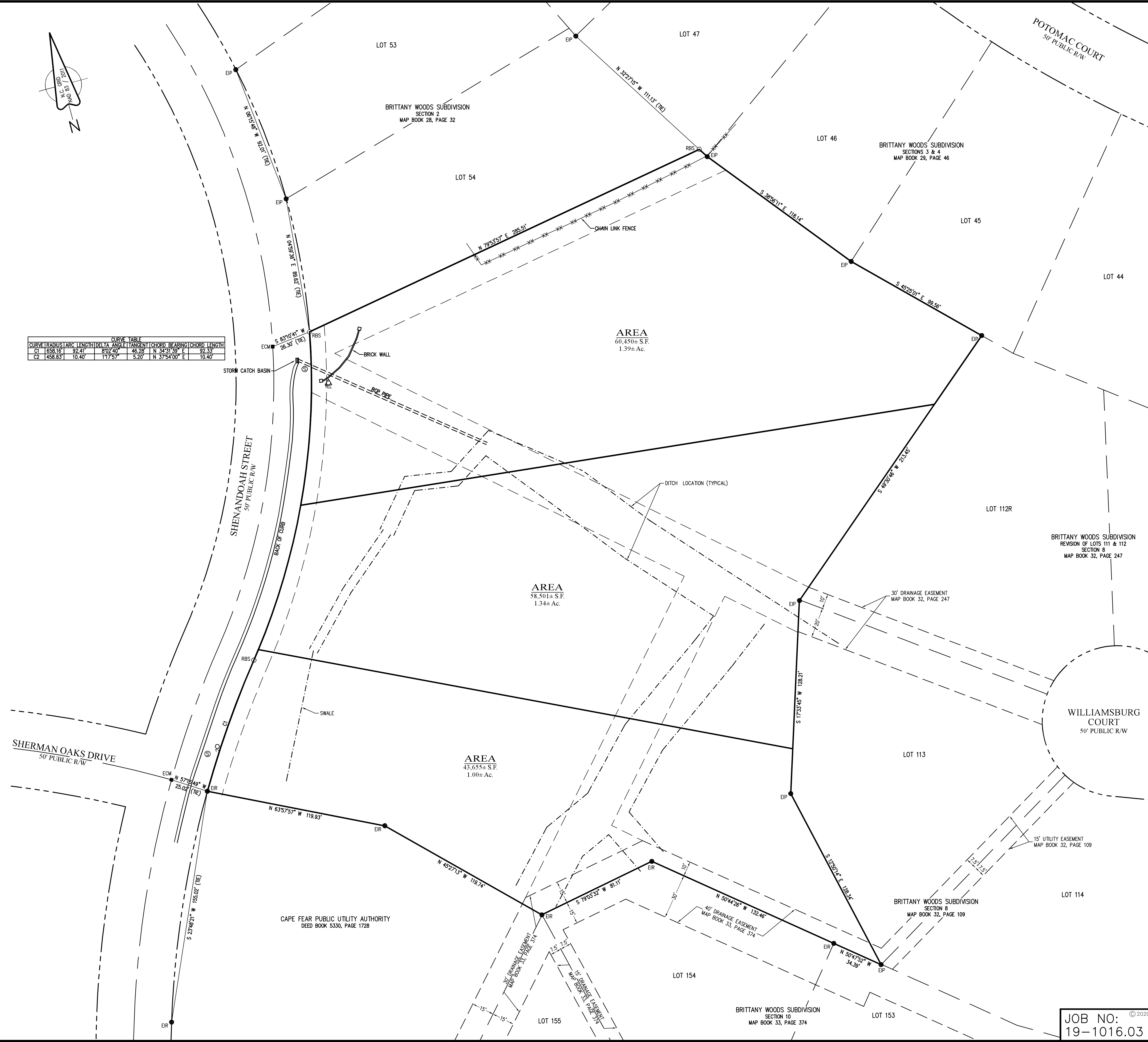
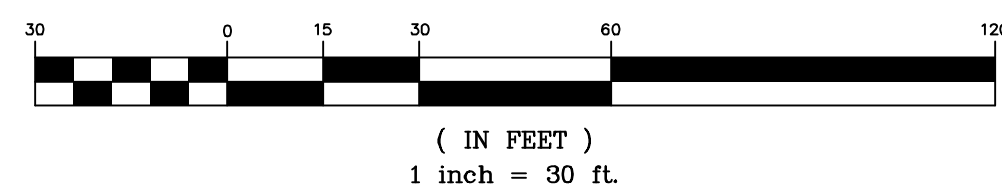
CERTIFICATE OF ACCURACY & MAPPING

I, THE UNDERSIGNED, CERTIFY THAT THIS SURVEY WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 1378, PAGE 1024); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION AS LABELED; THAT THE RATIO OF PRECISION, AS CALCULATED, IS 1:10,000+; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 10TH DAY OF FEBRUARY, A.D. 2020.



HOWARD E. HEADLEY — PROFESSIONAL LAND SURVEYOR (L-3937)

GRAPHIC SCALE



Scale 1" = 30'	Sheet No. 1 of 1
Designer EB3	Date 2/10/20
Drawn By EB3	Job No. 19-1016.03
Checked By ACS	

PREPARED FOR: LEADER HOMES, INC.
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BOUNDARY SURVEY AND EXHIBIT MAP

1236 & 1250 SHENANDOAH STREET
MADE FROM DEED BOOK 1378, PAGE 1024
North Carolina
New Hanover County

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JOB NO:
19-1016.03