

PROJECT DIRECTORY

PROPERTY OWNER:

SOUTHEASTERN ENTERPRISES, INC
1202 LAKE PARK BLV N
CAROLINA BEACH, NC 28428

APPLICATION:

COMMUNICATIONS TOWER GROUP (CTG)
15720 BRIXHAM HILL AVE. SUITE 300
CHARLOTTE, NC 28277
BRAD LAGANO
(E) blagano.ctowergroup.com
(P) 704-992-7522

REAL ESTATE:

COMMUNICATIONS TOWER GROUP (CTG)
15720 BRIXHAM HILL AVE. SUITE 300
CHARLOTTE, NC 28277
TERRY THOMAS
(E) tthomas@ctowergroup.com
(P) 727-254-7458

ENGINEERING:

P. MARSHALL & ASSOCIATES
3545 WHITEHALL PARK DRIVE SUITE 450
CHARLOTTE, NORTH CAROLINA 28273
TREVOR MCALLISTER
(E) tmcallister@pmass.com
(P) 478-542-3291

CALL BEFORE YOU DIG



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YOU DIG
N. CAROLINA
ONE-CALL 811

http://www.nc811.com/

PROJECT SUMMARY

SCOPE OF WORK

PROPOSED WORK WILL CONSIST OF PREPARATION AND INSTALLATION OF CELLULAR COMMUNICATION COMPOUND. CONSISTING OF GRADING SITE WORK AND POURING OF CONCRETE FOUNDATIONS FOR CELLULAR EQUIPMENT & TOWER WHERE ALL WORK SHALL BE CONTAINED WITHIN SUBJECT PROPERTY LINES.

CODES

ALL CONSTRUCTION SPECIFIED ON DOCUMENTS SUBMITTED FOR BUILDING PERMIT SHALL COMPLY WITH THE REQUIREMENTS OF THE FOLLOWING & ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES :

- 2018 INTERNATIONAL BUILDING CODE W/ NC AMENDMENTS
- 2018 INTERNATIONAL FIRE CODE W/ NC AMENDMENTS
- 2018 INTERNATIONAL PLUMBING CODE W/ NC AMENDMENTS
- 2018 INTERNATIONAL MECHANICAL CODE W/ NC AMENDMENTS
- 2009 INTERNATIONAL ENERGY CONSERVATION CODE
- 2017 NATIONAL ELECTRICAL CODE - NFPA 70
- TIA-222-G
- TIA-1019-A

SITE DESIGN SUMMARY:

- WIND LOAD DESIGN: 90/120 mph
- EXPOSURE CATEGORY: II
- OCCUPANCY: U
- CONSTRUCTION TYPE: II-A

- FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAP ACCESS IS NOT REQUIRED.
- FACILITY HAS NO SANITARY OR POTABLE WATER
- THERE IS "NO EMERGENCY RESPONSE EQUIPMENT ON THE TOWER AND EXISTING &/OR PROPOSED EQUIPMENT WILL NOT INTERFERE WITH COUNTY EMERGENCY COMMUNICATIONS AND THAT, IF SUCH, INTERFERENCE IS FOUND TO EXIST, THEN APPLICANT WILL TAKE WHATEVER STEPS NECESSARY TO CORRECT INTERFERENCE."

FEMA PANEL:

THIS SITE IS IN A SPECIAL FLOOD HAZARD AND LABELED ZONE "X SHADED" W/ 0.2% CHANCE OF FLOOD HAZARD, AS SHOWN PER FIRM PANEL: 3720313200K. DATED: 08/28/2018

SITE NAME: THE CAPE BLVD

SITE NUMBER: CTG-NC 0010081

DESCRIPTION: NEW SITE DEVELOPMENT
130' MONOPOLE TOWER

SITE SUMMARY

NEAREST SITE ADDRESS:

902 THE CAPE BLVD
WILMINGTON, NC 28412

SITE LATITUDE(NAD83): 34° 04' 22.77" (34.072992°)

SITE LONGITUDE(NAD83): -77° 54' 06.46" (-77.901794°)

GND ELEVATION (NAVD88): 7.4' AMSL

TOWER HGHT (AGL.): 130.0'

JURISDICTION:

NEW HANOVER COUNTY

PARCEL ID:

R08500-002-070-000

ZONING:

R-15

ACREAGE (BUA): 259,182 SQFT. (5.95 ACRES)

(E) IMPERVIOUS SURFACE: 0 SQFT.

(P) IMPERVIOUS SURFACE: COMPOUND @ 10,000 SQFT +DRIVE @2,725.087 SQFT. = 12,725.087 SQFT.

UTILITIES:

POWER COMPANY:


NA

FIBER COMPANY:

NA

SHEET INDEX

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| T-2 | GENERAL NOTES | - SURVEY | |
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| E-3 | GROUNDING PLAN | | |
| E-4 | ELECTRICAL DETAILS | | |



cTg

PMA

LOCATION:

34.072992 , -77.901794

NEAREST ADDRESS:

902 THE CAPE BLVD,
WILMINGTON, NC 28412

THE CAPE BLVD.

CTG-NC 0010081

| NO. | DATE | DESCRIPTION |
|-----|---------|-------------|
| A | 5/12/21 | FINAL |
| B | 7/15/21 | REVISION |
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PROJECT:

SITE DEVELOPMENT

DESIGNER: INS

CHECKED: JTM

JOB #: 20KCG_NNC-0017

TITLE SHEET

T-1

GENERAL NOTES

* THIS SPECIFIC PURPOSE SURVEY IS FOR THE LEASED PREMISES AND EASEMENTS ONLY. THIS SPECIFIC PURPOSE SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF COMMUNICATIONS TOWER GROUP LLC AND EXCLUSIVELY FOR THE TRANSFERRAL OF THE LEASED PREMISES AND THE RIGHTS OF EASEMENT SHOWN HEREON AND SHALL NOT BE USED AS AN EXHIBIT OR EVIDENCE IN THE FEE SIMPLE TRANSFERRAL OF THE PARENT PARCEL NOR ANY PORTION OR PORTIONS THEREOF. BOUNDARY INFORMATION SHOWN HEREON HAS BEEN COMPILED FROM TAX MAPS AND DEED DESCRIPTIONS ONLY. NO BOUNDARY SURVEY OF THE PARENT PARCEL WAS PERFORMED.

THIS DRAWING DOES NOT REPRESENT A BOUNDARY SURVEY.

EQUIPMENT USED FOR ANGULAR & LINEAR MEASUREMENTS: LEICA TPS 1200 ROBOTIC & GEOMAX ZENITH 35. [DATE OF LAST FIELD VISIT: 04/14/2021]

THE 1' CONTOURS AND SPOT ELEVATIONS SHOWN ON THIS SPECIFIC PURPOSE SURVEY ARE ADJUSTED TO NAVD 88 DATUM (COMPUTED USING GEOID18) AND HAVE A VERTICAL ACCURACY OF $\pm 0.5'$. CONTOURS OUTSIDE THE IMMEDIATE SITE AREA ARE APPROXIMATE.

BEARINGS SHOWN ON THIS SPECIFIC PURPOSE SURVEY ARE BASED ON NC GRID NORTH (NAD 83).

PER THE FEMA FLOODPLAIN MAPS, THE SITE IS LOCATED IN AN AREA DESIGNATED AS SHADED ZONE X (AREA OF 0.2% ANNUAL CHANCE FLOOD HAZARD). COMMUNITY PANEL NO.: 3720313100K DATED: 08/28/2018. HOWEVER, BASED ON SITE ELEVATIONS, IT APPEARS THE SITE COULD BE LOCATED IN FLOOD ZONE "AE" (BASE FLOOD ELEVATION = 9')

NO WETLAND AREAS HAVE BEEN INVESTIGATED BY THIS SPECIFIC PURPOSE SURVEY.

ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS.

ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEES THAT ANY UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT ANY UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED ANY UNDERGROUND UTILITIES.

SURVEYOR CERTIFICATION

I HEREBY CERTIFY THAT THIS MAP IS CORRECT AND WAS DRAWN UNDER MY DIRECT SUPERVISION. ANY VISIBLE ENCROACHMENTS ARE SHOWN HEREON.

 DATE: 04/27/2021
G. DARRELL TAYLOR, NORTH CAROLINA PROFESSIONAL LAND SURVEYOR #L-3729
POINT TO POINT LAND SURVEYORS, INC.

THIS MAP MAY NOT BE A CERTIFIED SURVEY AND HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS AND HAS NOT BEEN REVIEWED FOR COMPLIANCE WITH RECORDING REQUIREMENTS FOR PLATS.

GPS NOTES

THE FOLLOWING GPS STATISTICS UPON WHICH THIS SURVEY IS BASED HAVE BEEN PRODUCED AT THE 95% CONFIDENCE LEVEL:

POSITIONAL ACCURACY: 0.07 FEET (HORZ) 0.10 FEET (VERT)
TYPE OF EQUIPMENT: GEOMAX ZENITH35 PRO BASE AND ROVER, DUAL FREQUENCY
TYPE OF GPS FIELD PROCEDURE: REAL-TIME KINEMATIC NETWORKS
DATES OF SURVEY: 04/14/2021
DATUM / EPOCH: NAD_83(2011)(EPOCH:2010.0000)
PUBLISHED / FIXED CONTROL USE: N/A
GEOID MODEL: 18
COMBINED GRID FACTOR(S): 1.00008432
CONVERGENCE ANGLE: 00°38'01.87"
BENCHMARKS USED: ADJUSTED NETWORK SOLUTION USING LEICA SMARTNET REFERENCE STATION NETWORK

PARENT PARCEL

OWNER: SOUTHEASTERN ENTERPRISES, INC.

SITE ADDRESS: VALLEY BROOK ROAD, WILMINGTON, NC 28412

PARCEL ID: R08500-002-070-000

AREA: 5.94 ACRES (PER TAX ASSESSOR)

ZONED: R-15

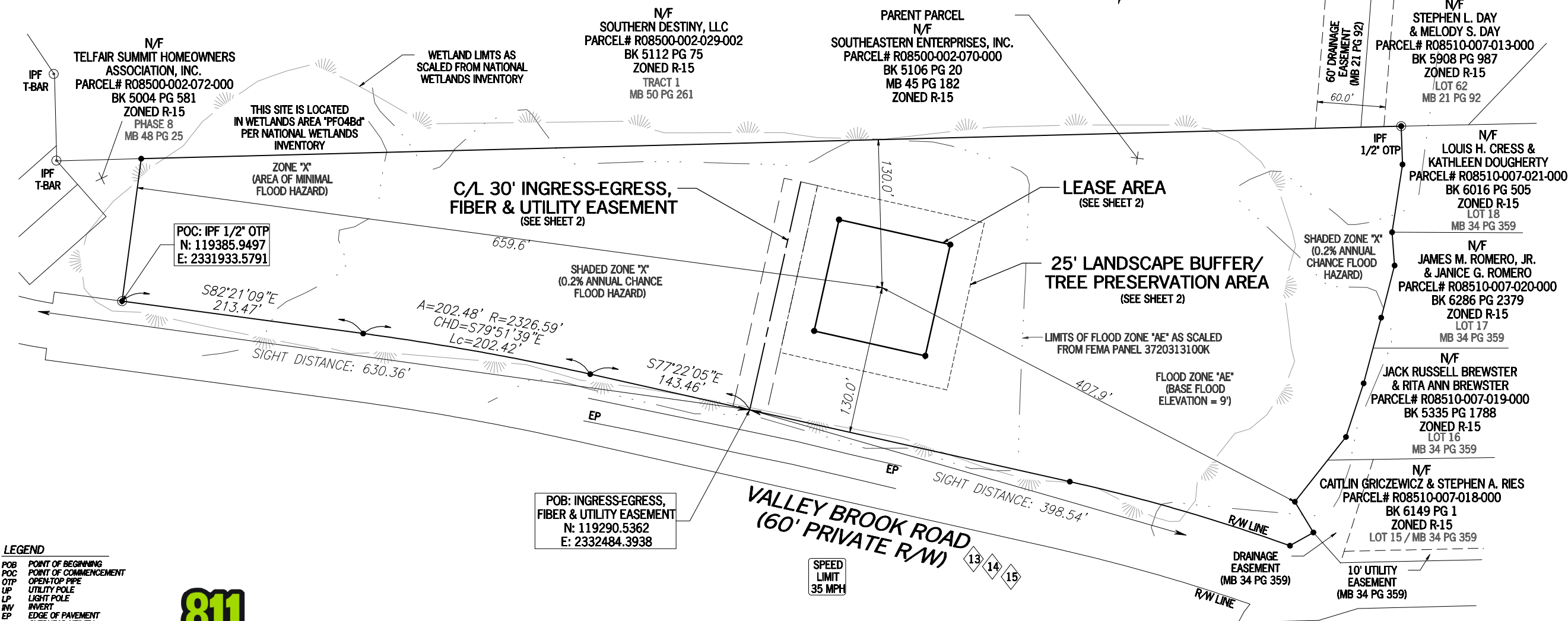
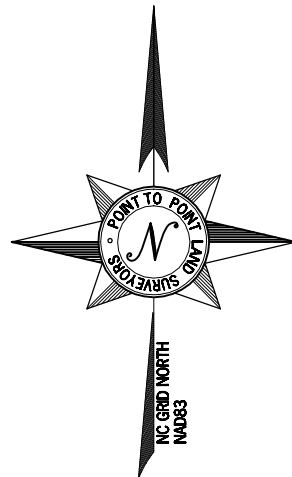
ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS

REFERENCE: 1) BOOK 5106 PAGE 20
2) MAP BOOK 45 PAGE 182



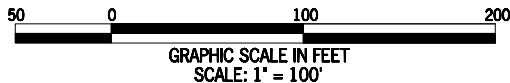
VICINITY MAP

NOT TO SCALE



LEGEND

POB POINT OF BEGINNING
POC POINT OF COMMENCEMENT
OTP OPEN-TOP PIPE
UP UTILITY POLE
LP LIGHT POLE
INV INVERT
EP EDGE OF PAVEMENT
OU OVERHEAD UTILITY
CMP CORRUGATED METAL PIPE
RCP REINFORCED CONCRETE PIPE
PVC POLYVINYL CHLORIDE PIPE
GW GUY WIRE ANCHOR
TR TRANSFORMER
MP MAP BOOK
N/F NOW OR FORMERLY
R/W RIGHT-OF-WAY



SURVEY NOT VALID WITHOUT SHEETS 2 & 3



| NO. | DATE | REVISION |
|-----|------|----------|
| | | |
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| | | |

* SPECIFIC PURPOSE SURVEY PREPARED BY:
POINT TO POINT LAND SURVEYORS
Firm License Number: C-4145
100 Governors Trace, Ste. 103
Peachtree City, GA 30269
(p) 678.565.4440 (f) 678.565.4497
(w) p2pls.com



SPECIFIC PURPOSE SURVEY PREPARED FOR:



COMMUNICATIONS TOWER GROUP, LLC
15720 BRIXHAM HILL AVE, SUITE 300
CHARLOTTE, NC 28277

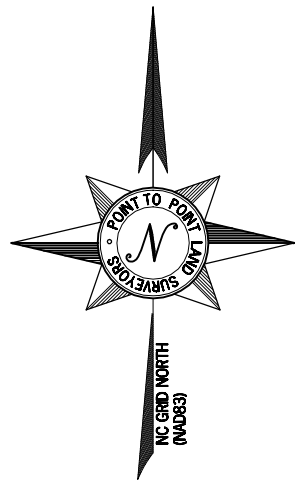
THE CAPE BLVD.
CTG-NC 0010081

FEDERAL POINT TOWNSHIP
NEW HANOVER COUNTY
NORTH CAROLINA

DRAWN BY: NRW
CHECKED BY: JKL
APPROVED: D. MILLER
DATE: APRIL 27, 2021
P2P JOB #: 210496NC

SHEET:
1
OF 3

E:\Dropbox (Point To Point)\P2P Current Jobs\2021\210496NC\The Cape Blvd\210496NC.dwg



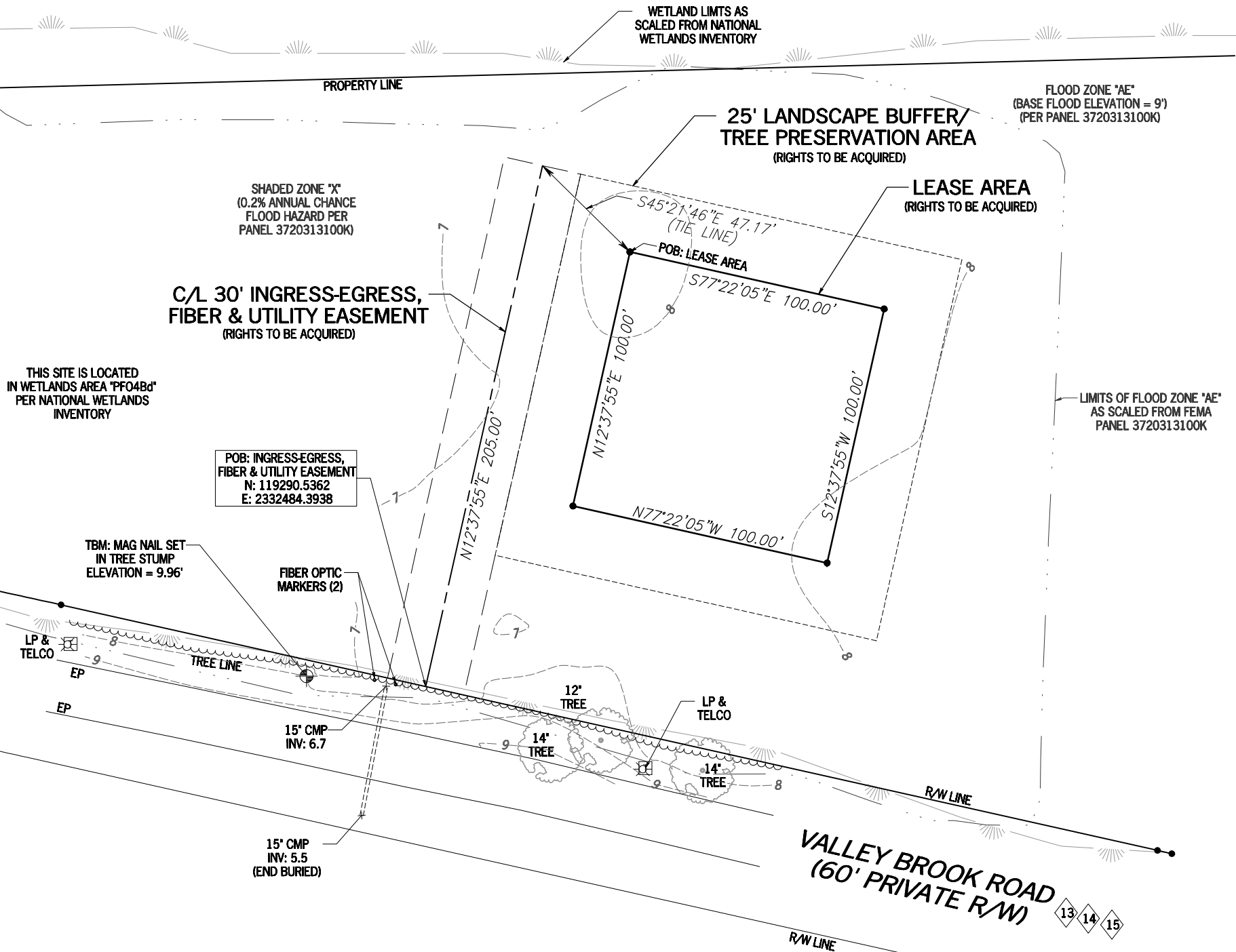
| NO. | DATE | REVISION |
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SITE INFORMATION

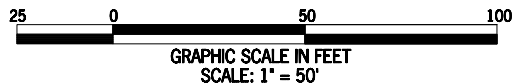
LEASE AREA = 10,000 SQUARE FEET (0.2296 ACRES)

LATITUDE = 34°04'22.77" (NAD 83) (34.072992°)
LONGITUDE = -77°54'06.46" (NAD 83) (-77.901794°)
AT CENTER OF LEASE AREA

ELEVATION AT CENTER OF LEASE AREA = 7.4' A.M.S.L.



| LEGEND | |
|--------|--------------------------|
| POB | POINT OF BEGINNING |
| POC | POINT OF COMMENCEMENT |
| OTP | OPEN-TOP PIPE |
| UP | UTILITY POLE |
| LP | LIGHT POLE |
| INV | INVERT |
| EP | EDGE OF PAVEMENT |
| OU | OVERHEAD UTILITY |
| CMP | CORRUGATED METAL PIPE |
| RCP | REINFORCED CONCRETE PIPE |
| PVC | POLYVINYL CHLORIDE PIPE |
| GW | GYL WIRE ANCHOR |
| TR | TRANSFORMER |
| MP | MAP BOOK |
| N/F | NOW OR FORMERLY |
| R/W | RIGHT-OF-WAY |



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CHARLOTTE, NC 28277

THE CAPE BLVD.
CTG-NC 0010081

FEDERAL POINT TOWNSHIP
NEW HANOVER COUNTY
NORTH CAROLINA

| | |
|----------------------|--------|
| DRAWN BY: NRW | SHEET: |
| CHECKED BY: JKL | 2 |
| APPROVED: D. MILLER | OF 3 |
| DATE: APRIL 27, 2021 | |
| P2P JOB #: 210496NC | |

SURVEY NOT VALID WITHOUT SHEETS 1 & 3

E:\Projects\Point to Point\2021\210496NC\The Cape Blvd\210496NC.dwg

PARENT PARCEL

(AS PROVIDED IN COMMITMENT 01-20079710-01 T)

SITUATED IN THE COUNTY OF NEW HANOVER, STATE OF NORTH CAROLINA:

THOSE TRACTS BORDERING ON VALLEY BROOK ROAD SHOWN AS 5.94 ACRES FUTURE DEVELOPMENT AND COMMON AREA - CONSERVATION AREA ON THAT PLAT RECORDED IN MAP BOOK 45 AT PAGE 182 IN THE NEW HANOVER COUNTY REGISTRY.

TAX ID: R08500-002-070-000

BEING THE SAME PROPERTY CONVEYED TO SOUTHEASTERN ENTERPRISES, INC., GRANTEE, FROM TELFAIR SUMMIT, LLC, A NORTH CAROLINA LIMITED LIABILITY COMPANY, GRANTOR, BY DEED RECORDED 11/16/2006, AS BOOK 5106, PAGE 20 OF THE NEW HANOVER COUNTY RECORDS.

30' INGRESS-EGRESS, FIBER & UTILITY EASEMENT

TOGETHER WITH A 30-FOOT WIDE INGRESS-EGRESS, FIBER AND UTILITY EASEMENT (LYING 15 FEET EACH SIDE OF CENTERLINE) LYING AND BEING IN FEDERAL POINT TOWNSHIP, NEW HANOVER COUNTY, NORTH CAROLINA, BEING A PORTION OF THE LANDS OF SOUTHEASTERN ENTERPRISES, INC., AS RECORDED IN BOOK 5106 PAGE 20 OF THE NEW HANOVER COUNTY REGISTRY, BEING DESCRIBED BY THE FOLLOWING CENTERLINE DATA:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A ½-INCH OPEN-TOP PIPE FOUND ON THE NORTHERLY RIGHT-OF-WAY LINE OF VALLEY BROOK ROAD (HAVING A 60-FOOT PRIVATE RIGHT-OF-WAY), SAID PIPE MARKING THE SOUTHWEST CORNER THE LANDS DESIGNATED AS THE 5.94 ACRES FUTURE DEVELOPMENT TRACT ON THAT PLAT RECORDED IN MAP BOOK 45 PAGE 182 OF THE NEW HANOVER COUNTY REGISTRY, AND SAID PIPE HAVING A NORTH CAROLINA GRID NORTH, NAD83, VALUE OF N: 119385.9497, E: 2331933.5791; THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY LINE OF VALLEY BROOK ROAD, SOUTH 82°21'09" EAST, 213.47 FEET TO A POINT; THENCE, 202.48 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 2326.59 FEET AND BEING SCRIBED BY A CHORD BEARING, SOUTH 79°51'39" EAST, 202.42 FEET TO A POINT; THENCE, SOUTH 77°22'05" EAST, 143.46 FEET TO A POINT HAVING A NORTH CAROLINA GRID NORTH, NAD83, VALUE OF N: 119290.5362, E: 2332484.3938 AND THE TRUE POINT OF BEGINNING; THENCE LEAVING SAID NORTHERLY RIGHT-OF-WAY LINE OF VALLEY BROOK ROAD AND RUNNING, NORTH 12°37'55" EAST, 205.00 FEET TO THE ENDING AT A POINT.

BEARINGS BASED ON NORTH CAROLINA GRID NORTH, NAD83.

LEASE AREA

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN FEDERAL POINT TOWNSHIP, NEW HANOVER COUNTY, NORTH CAROLINA, BEING A PORTION OF THE LANDS OF SOUTHEASTERN ENTERPRISES, INC., AS RECORDED IN BOOK 5106 PAGE 20 OF THE NEW HANOVER COUNTY REGISTRY, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A ½-INCH OPEN-TOP PIPE FOUND ON THE NORTHERLY RIGHT-OF-WAY LINE OF VALLEY BROOK ROAD (HAVING A 60-FOOT PRIVATE RIGHT-OF-WAY), SAID PIPE MARKING THE SOUTHWEST CORNER THE LANDS DESIGNATED AS THE 5.94 ACRES FUTURE DEVELOPMENT TRACT ON THAT PLAT RECORDED IN MAP BOOK 45 PAGE 182 OF THE NEW HANOVER COUNTY REGISTRY, AND SAID PIPE HAVING A NORTH CAROLINA GRID NORTH, NAD83, VALUE OF N: 119385.9497, E: 2331933.5791; THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY LINE OF VALLEY BROOK ROAD, SOUTH 82°21'09" EAST, 213.47 FEET TO A POINT; THENCE, 202.48 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 2326.59 FEET AND BEING SCRIBED BY A CHORD BEARING, SOUTH 79°51'39" EAST, 202.42 FEET TO A POINT; THENCE, SOUTH 77°22'05" EAST, 143.46 FEET TO A POINT HAVING A NORTH CAROLINA GRID NORTH, NAD83, VALUE OF N: 119290.5362, E: 2332484.3938; THENCE LEAVING SAID NORTHERLY RIGHT-OF-WAY LINE OF VALLEY BROOK ROAD AND RUNNING, NORTH 12°37'55" EAST, 205.00 FEET TO A POINT; THENCE ALONG A TIE LINE, SOUTH 45°21'46" EAST, 47.17 FEET TO A POINT AND THE TRUE POINT OF BEGINNING; THENCE RUNNING, SOUTH 77°22'05" EAST, 100.00 FEET TO A POINT; THENCE, SOUTH 12°37'55" WEST, 100.00 FEET TO A POINT; THENCE, NORTH 77°22'05" WEST, 100.00 FEET TO A POINT; THENCE, NORTH 12°37'55" EAST, 100.00 FEET TO A POINT AND THE POINT OF BEGINNING.

BEARINGS BASED ON NORTH CAROLINA GRID NORTH, NAD83.

SAID TRACT CONTAINS 0.2296 ACRES (10,000 SQUARE FEET), MORE OR LESS.

TITLE EXCEPTIONS

THIS SURVEY WAS COMPLETED WITH THE AID OF TITLE WORK PREPARED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT DATE OF 07/06/2020 AT 7:00 A.M., BEING COMMITMENT NO. 01-20079710-01T, FOR THE PARENT PARCEL, TO DETERMINE THE IMPACTS OF EXISTING TITLE EXCEPTIONS.

9. RIGHT OF WAY IN FAVOR OF CAROLINA POWER AND LIGHT COMPANY, RECORDED 02/28/1962 IN BOOK 672, PAGE 466 OF NEW HANOVER COUNTY RECORDS.

[BECAUSE THE DESCRIPTION OF THIS EASEMENT IS VAGUE, WE ARE UNABLE TO ASCERTAIN THE EXACT LOCATION THEREOF].

10. DECLARATION OF FINAL RESOLUTION OF CLAIM TO SUBMERGED LANDS, RECORDED 07/10/1989, IN BOOK 1462, PAGE 1250 OF THE NEW HANOVER COUNTY RECORDS.

[BECAUSE THE DESCRIPTION OF THIS ITEM IS VAGUE, WE ARE UNABLE TO ASCERTAIN THE EXACT LOCATION THEREOF].

11. RIGHT OF WAY IN FAVOR OF CAROLINA POWER AND LIGHT COMPANY, RECORDED 01/04/1995 IN BOOK 1844, PAGE 432 OF NEW HANOVER COUNTY RECORDS.

[BECAUSE THE DESCRIPTION OF THIS EASEMENT IS VAGUE, WE ARE UNABLE TO ASCERTAIN THE EXACT LOCATION THEREOF].

12. DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS OF TELFAIR SUMMIT, L.L.C., RECORDED 02/16/1998, IN BOOK 2311, PAGE 417 OF THE NEW HANOVER COUNTY RECORDS.

NOTE: AMENDMENT OF DECLARATION OF RESTRICTIONS OF TELFAIR SUMMIT RECORDED 09/04/1998, AS BOOK 2429, PAGE 573 OF THE NEW HANOVER COUNTY RECORDS.

[THIS ITEM IS APPLICABLE TO THE PARENT PARCEL].

13. AGREEMENT TO MAINTAIN ROADWAY AND ENTRANCE, BY AND BETWEEN TELFAIR SUMMIT HOA, INC. TELFAIR SUMMIT L.L.C., AND TELFAIR FOREST HOMEOWNER'S ASSOCIATION, INC., RECORDED 02/16/1998, IN BOOK 2311, PAGE 719 OF THE NEW HANOVER COUNTY RECORDS.

[THIS ITEM IS APPLICABLE TO VALLEY BROOK ROAD].

14. SUBJECT TO COVENANTS, RESTRICTIONS, RESERVATIONS, EASEMENTS, AND RIGHTS OF WAY AND BUILDING SETBACKS, IF ANY, AS SHOWN ON THE PHASE 1 TELFAIR SUMMIT TOWNHOMES PLAT, AS RECORDED IN PLAT BOOK 37, PAGE 317, RECORDED DATE 01/19/1998 IN NEW HANOVER COUNTY RECORDS.

[THIS ITEM IS APPLICABLE TO THE PARENT PARCEL].

15. SUBJECT TO COVENANTS, RESTRICTIONS, RESERVATIONS, EASEMENTS, AND RIGHTS OF WAY AND BUILDING SETBACKS, IF ANY, AS SHOWN ON THE PHASE 7 TELFAIR SUMMIT TOWNHOMES PLAT, AS RECORDED IN PLAT BOOK 45, PAGE 182, RECORDED DATE 01/28/2004 IN NEW HANOVER COUNTY RECORDS.

[THIS ITEM IS APPLICABLE TO THE PARENT PARCEL].

[THIS ITEM IS APPLICABLE TO THE PARENT PARCEL].



| NO. | DATE | REVISION |
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* SPECIFIC PURPOSE SURVEY PREPARED BY:

POINT TO POINT LAND SURVEYORS

Firm License Number: C-4145
100 Governors Trace, Ste. 103
Peachtree City, GA 30269
(p) 678.565.4440 (f) 678.565.4497
(w) p2pls.com



SPECIFIC PURPOSE SURVEY PREPARED FOR:



COMMUNICATIONS TOWER GROUP, LLC
15720 BRIXHAM HILL AVE, SUITE 300
CHARLOTTE, NC 28277

THE CAPE BLVD.
CTG-NC 0010081

FEDERAL POINT TOWNSHIP
NEW HANOVER COUNTY
NORTH CAROLINA

DRAWN BY: NRW
CHECKED BY: JKL
APPROVED: D. MILLER
DATE: APRIL 27, 2021
P2P JOB #: 210496NC

SHEET:
3
OF 3



LOCATION:

34.072992 , -77.901794

NEAREST ADDRESS:

902 THE CAPE BLVD,
WILMINGTON, NC 28412

THE CAPE BLVD.

CTG-NC 0010081

| NO. | DATE | DESCRIPTION |
|-----|---------|-------------|
| A | 5/12/21 | FINAL |
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PROJECT:
SITE DEVELOPMENT

DESIGNER: INS
CHECKED: JTM
JOB #: 20KCG_NNC-0017

APPENDIX B
SHEETS

T-1A

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)
(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: CTG RAW-LAND MONOPOLE - THE CAPE BLVD-NC-0010081
Address: 902 THE CAPE BLVD WILMINGTON, NC Zip Code 28412
Owner/Authorized Agent: PMA& TREVOR MCALLISTER Phone # (678) 280 - 2325 E-Mail
Owned By: ☐ City/County ☒ Private ☐ State
Code Enforcement Jurisdiction: ☐ City ☒ CountyNEW HANOVER ☐ State

CONTACT: P. MARSHALL & ASSOCIATES
DESIGNER FIRM NAME LICENSE # TELEPHONE # E-MAIL
Architectural ☐ P. MARSHALL & ASSOCIATES PATRICK MARSHALL 024136 (678) 280-2325
Civil ☐
Electrical ☐
Fire Alarm ☐
Plumbing ☐
Mechanical ☐
Sprinkler-Standpipe ☐
Structural ☐
Retaining Walls >5' High ☐
Other P. MARSHALL & ASSOCIATES TREVOR MCALLISTER (478) 542-329 TMCALLISTER@PMASS.COM
("Other" should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)

2018 NC BUILDING CODE: ☐ New Building ☐ Shell/Core ☐ 1st Time Interior Completions
☐ Addition ☐ Phased Construction – Shell Core
2018 NC EXISTING BUILDING CODE: ☐ Prescriptive ☐ Alteration Level I ☐ Historic Property
(check all that apply) ☐ Repair ☐ Alteration Level II ☐ Change of Use
☐ Chapter 14 ☐ Alteration Level III

CONSTRUCTED: (date) CURRENT OCCUPANCY(S) (Ch. 3):
RENOVATED: (date) PROPOSED OCCUPANCY(S) (Ch. 3):

OCCUPANCY CATEGORY (Table 1604.5): Current: Proposed:

BASIC BUILDING DATA
Construction Type: ☒ I-A ☐ II-A ☐ III-A ☐ IV ☐ V-A
(check all that apply) ☐ I-B ☐ II-B ☐ III-B ☐ V-B
Sprinklers: ☒ No ☐ Partial ☐ NFPA 13 ☐ NFPA 13R ☐ NFPA 13D
Standpipes: ☒ No Class ☐ I ☐ II ☐ III ☐ Wet ☐ Dry
Primary Fire District: ☒ No ☐ Yes Flood Hazard Area: ☐ No ☒ Yes
Special Inspections Required: ☐ No ☒ Yes

GROSS BUILDING AREA TABLE

| FLOOR | EXISTING (SQ FT) | NEW (SQ FT) | SUB-TOTAL |
|-----------------------|------------------|-------------|-----------|
| 3 rd Floor | | | |
| 2 nd Floor | | | |
| Mezzanine | | | |
| 1 st Floor | | | |
| Basement | | | |
| TOTAL | | | |

ALLOWABLE AREA

Primary Occupancy Classification(s):
Assembly ☐ A-1 ☐ A-2 ☐ A-3 ☐ A-4 ☐ A-5
Business ☐
Educational ☐
Factory ☐ F-1 Moderate ☐ F-2 Low
Hazardous ☐ H-1 Detonate ☐ H-2 Deflagrate ☐ H-3 Combust ☐ H-4 Health ☐ H-5 HPM
Institutional ☐ I-1 ☐ I-2 ☐ I-3 ☐ I-4
I-1 Condition ☐ 1 ☐ 2
I-2 Condition ☐ 1 ☐ 2
I-3 Condition ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5
Mercantile ☐
Residential ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4
Storage ☐ S-1 Moderate ☐ S-2 Low ☐ High-piled
☐ Parking Garage ☐ Open ☐ Enclosed ☐ Repair Garage
Utility and Miscellaneous ☒

Accessory Occupancy Classification(s):
Incidental Uses (Table 509):

This separation is not exempt as a Non-Separated Use (see exceptions).

Special Uses (Chapter 4 – List Code Sections):

Special Provisions: (Chapter 5 – List Code Sections):

Mixed Occupancy: Select one Separation: Select one Exception:
Select one
$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$

+ = ≤ 1.00

| STORY NO. | DESCRIPTION AND USE | (A) BLDG AREA PER STORY (ACTUAL) | (B) TABLE 506.2 ⁴ AREA | (C) AREA FOR FRONTAGE INCREASE ^{1,5} | (D) ALLOWABLE AREA PER STORY OR UNLIMITED ^{2,3} |
|-----------|---------------------|----------------------------------|-----------------------------------|---|--|
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |

- ¹ Frontage area increases from Section 506.2 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = (F)
b. Total Building Perimeter = (P)
c. Ratio (F/P) = (F/P)
d. W = Minimum width of public way = (W)
² Unlimited area applicable under conditions of Section 507.
³ Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).
⁴ The maximum area of open parking garages must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1.
⁵ Frontage increase is based on the unsprinklered area value in Table 506.2.

| ALLOWABLE HEIGHT | | | |
|---|-----------|----------------|----------------|
| | ALLOWABLE | SHOWN ON PLANS | CODE REFERENCE |
| Building Height in Feet (Table 504.3) | | | |
| Building Height in Stories (Table 504.4) | | | |
| Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4. | | | |

| FIRE PROTECTION REQUIREMENTS | | | | | | |
|--|---------------------------------|-------|---------------------------------|----------------------|-----------------------------|-------------------------------|
| BUILDING ELEMENT | FIRE SEPARATION DISTANCE (FEET) | REQ'D | RATING PROVIDED * (W/REDUCTION) | DETAIL # AND SHEET # | DESIGN # FOR RATED ASSEMBLY | SHEET # FOR RATED PENETRATION |
| Structural Frame, including columns, girders, trusses | | | | | | |
| Bearing Walls | | | | | | |
| Exterior | | | | | | |
| North | | | | | | |
| East | | | | | | |
| West | | | | | | |
| South | | | | | | |
| Interior | | | | | | |
| Nonbearing Walls and Partitions | | | | | | |
| Exterior walls | | | | | | |
| North | | | | | | |
| East | | | | | | |
| West | | | | | | |
| South | | | | | | |
| Interior walls and partitions | | | | | | |
| Floor Construction | | | | | | |
| Including supporting beams and joists | | | | | | |
| Floor Ceiling Assembly | | | | | | |
| Columns Supporting Floors | | | | | | |
| Roof Construction, including supporting beams and joists | | | | | | |
| Roof Ceiling Assembly | | | | | | |
| Columns Supporting Roof | | | | | | |
| Shaft Enclosures - Exit | | | | | | |
| Shaft Enclosures - Other | | | | | | |
| Corridor Separation | | | | | | |
| Occupancy/Fire Barrier Separation | | | | | | |
| Party/Fire Wall Separation | | | | | | |
| Smoke Barrier Separation | | | | | | |
| Smoke Partition | | | | | | |
| Tenant/Dwelling Unit | | | | | | |
| Sleeping Unit Separation | | | | | | |
| Incidental Use Separation | | | | | | |
| * Indicate section number permitting reduction | | | | | | |

ENERGY REQUIREMENTS:
The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: Select one

Exempt Building: Select one Provide code or statutory reference:

Climate Zone: Select one

Method of Compliance: Select one
(If "Other" specify source here: _____)

THERMAL ENVELOPE (Prescriptive method only)

Roof/Ceiling Assembly (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Skylights in each assembly: _____
U-Value of skylight: _____
total square footage of skylights in each assembly: _____

Exterior Wall (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
Value of insulation: _____
Openings (windows or doors w/ glazing)
U-Value of assembly: _____
Solar heat gain coefficient: _____
Shading factor: _____
Other notes: _____

Walls below grade (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____

Floors over unconditioned space (each assembly)
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____

Floors slab on grade
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Horizontal/vertical requirement: _____
slab heated: _____

| PERCENTAGE OF WALL OPENING CALCULATIONS | | | |
|---|---|--------------------|---------------------------|
| FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES | DEGREE OF OPENINGS PROTECTION (TABLE 705.8) | ALLOWABLE AREA (%) | ACTUAL SHOWN ON PLANS (%) |
| | | | |
| | | | |

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: ☐ Yes ☐ No

Exit Signs: ☐ Yes ☐ No

Fire Alarm: ☐ Yes ☐ No

Smoke Detection Systems: ☐ Yes ☐ No

Carbon Monoxide Detection: ☐ Yes ☐ No

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: _____

☐ Fire and/or smoke rated wall locations (Chapter 7)

☐ Assumed and real property locations (if not on the site plan)

☐ Exterior wall opening area with respect to distance to assumed property lines (705.8)

☐ Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)

☐ Occupant loads for each area

☐ Exit access travel distances (1017)

☐ Common use of travel distances (Tables 1006.2 and 1006.3.2(1))

☐ Dead end length (1020.4)

☐ Clear exit width for each exit door

☐ Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)

☐ Actual occupant load for each exit door

☐ A separate schematic plan showing where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation

☐ Location of doors with panic hardware (1010.1.10)

☐ Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)

☐ Location of doors with electromagnetic egress locks (1010.1.9.9)

☐ Location of doors equipped with hold-open devices

☐ Location of emergency escape windows (1030)

☐ The square footage of each fire area (202)

☐ The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)

☐ Note any code exceptions or table notes that may have been utilized regarding the items above

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
STRUCTURAL DESIGN
(PROVIDE ON SHEET 1 OR 2 OF THE STRUCTURAL SHEETS)

DESIGN LOADS:

Importance Factors: Wind (I_w) _____
Snow (I_s) _____
Seismic (I_e) _____

Live Loads: Roof _____ psf
Mezzanine _____ psf
Floor _____ psf

Ground Snow Load: _____ psf

Wind Load: Basic Wind Speed _____ mph (ASCE-7)
Exposure Category _____

SEISMIC DESIGN CATEGORY: ☐ A ☐ B ☐ C ☐ D

Provide the following Seismic Design Parameters:

Occupancy Category (Table 1604.5) ☐ I ☐ II ☐ III ☐ IV

Spectral Response Acceleration S₁ _____ %g

Site Classification (ASCE 7) ☐ A ☐ B ☐ C ☐ D ☐ E ☐ F

Data Source: ☐ Field Test ☐ Presumptive ☐ Historical Data

Basic structural system (check one)
☐ Bearing Wall ☐ Dual w/ Special Moment Frame
☐ Building Frame ☐ Dual w/ Intermediate R/C or Special Steel
☐ Moment Frame ☐ Inverted Pendulum

Analysis Procedure: ☐ Simplified ☐ Equivalent Lateral Force ☐ Dynamic

Architectural, Mechanical, Components anchored? ☐ Yes ☐ No

LATERAL DESIGN CONTROL: Earthquake ☐ Wind ☐

SOIL BEARING CAPACITIES:
Field Test (provide copy of test report) _____ psf
Presumptive Bearing capacity _____ psf
Pile size, type, and capacity _____

| ACCESSIBLE DWELLING UNITS (SECTION 1107) | | | | | | | |
|--|---------------------------|---------------------------|-----------------------|-----------------------|-----------------------|-----------------------|---------------------------------|
| TOTAL UNITS | ACCESSIBLE UNITS REQUIRED | ACCESSIBLE UNITS PROVIDED | TYPE A UNITS REQUIRED | TYPE A UNITS PROVIDED | TYPE B UNITS REQUIRED | TYPE B UNITS PROVIDED | TOTAL ACCESSIBLE UNITS PROVIDED |
| | | | | | | | |

| ACCESSIBLE PARKING (SECTION 1106) | | | | | |
|-----------------------------------|------------------------------------|----------|---------------------------------|-----------------------------|-----------------------------|
| LOT OR PARKING AREA | TOTAL # OF PARKING SPACES REQUIRED | PROVIDED | # OF ACCESSIBLE SPACES PROVIDED | | TOTAL # ACCESSIBLE PROVIDED |
| | | | REGULAR WITH 5' ACCESS AISLE | SPACES WITH 8' ACCESS AISLE | |
| | | | | | |
| TOTAL | | | | | |

| PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1) | | | | | | | | | | | |
|--|----------------|---------|------------|---------|--------------------|--------|--------|------|---------|------------|--|
| USE | WATER FIXTURES | URINALS | LAVATORIES | SHOWERS | DRINKING FOUNTAINS | | | | | | |
| SPACE | EXIST'D | MALE | MALE | UNISEX | MALE | FEMALE | UNISEX | TUBS | REGULAR | ACCESSIBLE | |
| NEW | | | | | | | | | | | |
| REQ'D | | | | | | | | | | | |

SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below)

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
MECHANICAL DESIGN
(PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)

MECHANICAL SUMMARY
MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Thermal Zone
winter dry bulb: _____
summer dry bulb: _____

Interior design conditions
winter dry bulb: _____
summer dry bulb: _____
relative humidity: _____

Building heating load: _____

Building cooling load: _____

Mechanical Spacing Conditioning System
Unit: _____
description of unit: _____
heating efficiency: _____
cooling efficiency: _____
size category of unit: _____
Boiler
Size category. If oversized, state reason: _____
Chiller
Size category. If oversized, state reason: _____

List equipment efficiencies: _____



LOCATION:

34.072992 , -77.901794

NEAREST ADDRESS:

902 THE CAPE BLVD,
WILMINGTON, NC 28412

THE CAPE BLVD.

CTG-NC 0010081

| NO. | DATE | DESCRIPTION |
|-----|---------|-------------|
| A | 5/12/21 | FINAL |
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PROJECT:

SITE DEVELOPMENT

DESIGNER: INS

CHECKED: JTM

JOB #: 20KCG_NNC-0017

APPENDIX B
SHEETS

- GENERAL NOTES**
1. THE GENERAL CONTRACTOR MUST VERIFY ALL EXISTING & PROPOSED DIMENSIONS, CONDITIONS, AND ELEVATIONS BEFORE STARTING WORK. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER AND SHALL BE RESOLVED BEFORE PROCEEDING WITH THE WORK. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH ACCEPTED CONSTRUCTION PRACTICES.
 2. IT IS THE INTENTION OF THESE DRAWINGS TO SHOW THE COMPLETED INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING, TIES, FORM WORK, ETC., IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL ORDINANCES, TO SAFELY EXECUTE ALL WORK AND SHALL BE RESPONSIBLE FOR SAME. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES.
 3. THE CONTRACTOR SHALL USE ADEQUATE NUMBER OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE 3. COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK.
 4. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND PRIME CONTRACTOR FURTHER AGREES TO INDEMNIFY AND HOLD DESIGN ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.
 5. SITE GROUNDING SHALL COMPLY WITH ENERGY GROUNDING STANDARDS, LATEST VERSION. WHEN NATIONAL AND LOCAL GROUNDING CODES ARE MORE STRINGENT, THEY 5. SHALL GOVERN. GROUNDING SHALL BE COMPLETED BEFORE ERECTION OF A NEW TOWER.
 6. ALL WORK SHALL COMPLY WITH OSHA AND STATE SAFETY REQUIREMENTS. PROCEDURES FOR THE PROTECTION OF EXCAVATIONS, EXISTING CONSTRUCTION, AND UTILITIES 6. SHALL BE ESTABLISHED PRIOR TO FOUNDATION INSTALLATION. IF TEMPORARY LIGHTING AND MARKING IS REQUIRED BY THE FEDERAL AVIATION ADMINISTRATION (FAA), IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE NECESSARY LIGHTS AND NOTIFY THE PROPER AUTHORITIES IN THE EVENT OF A PROBLEM.
 7. ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES OR ORDINANCES. THE MOST STRINGENT CODE WILL APPLY IN THE CASE OF DISCREPANCIES OR DIFFERENCES IN THE CODE REQUIREMENTS.
 8. THE CONTRACTOR SHALL RESTORE ALL PROPERTY TO IT'S PRE-CONSTRUCTION CONDITIONS TO THE OWNER'S SATISFACTION. ANY DAMAGE TO ADJACENT PROPERTIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR IS TO PROTECT ALL EXISTING PROPERTY LINE MONUMENTATION, STRUCTURES, UTILITIES. ANY DAMAGE SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE UNDER THE SUPERVISION OF A REGISTERED SURVEYOR OR ENGINEER.
 9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AMPLE NOTICE TO THE BUILDING INSPECTION DEPARTMENT TO SCHEDULE THE REQUIRED INSPECTIONS. A MINIMUM OF 24 9. HOURS OF NOTICE SHOULD BE GIVEN THE BUILDING INSPECTION DEPARTMENTS HAVE REQUESTED THAT GROUPS OF TWO OR THREE SITES BE SCHEDULED AT ONE TIME IF POSSIBLE.

- GENERAL NOTES**
10. THE COMPLETE BID PACKAGE INCLUDES THESE CONSTRUCTION DRAWINGS ALONG WITH THE SPECIFICATIONS AND TOWER DRAWINGS/ANALYSIS. CONTRACTOR IS 10. RESPONSIBLE FOR REVIEW OF THE TOTAL BID PACKAGE PRIOR TO BID SUBMITTAL. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL DRAWGINS & SPECIFICATIONS AND TO COORDINATE HIS WORK WITH THE WORK OF ALL OTHER TO ENSURE THAT WORK PROGRESSION IS INTERRUPTED AND DOES NOT INTERRUPT THE PROPERTY OWNER'S OPERATIONS AT ANY TIME.
 11. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES WITHIN THE CONSTRUCTION LIMITS PRIOR TO CONSTRUCTION. ALL CONNECTIONS TO EXISTING SYSTEMS SHALL BE COORDINATED WITH THE OWNER OR OWNER'S REPRESENTATIVE AND THE UTILITY COMPANY PRIOR TO EACH CONNECTION.
 12. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE ON THE SITE AT ALL TIMES. SILT AND EROSION CONTROL SHALL BE MAINTAINED ON THE 12. DOWNSTREAM SIDE OF THE SITE AT ALL TIMES. ANY DAMAGE TO ADJACENT PROPERTIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
 13. CLEARING OF TREES AND VEGETATION ON THE SITE SHOULD BE KEPT TO A MINIMUM. ONLY THE TREES NECESSARY FOR CONSTRUCTION OF THE FACILITIES SHALL BE REMOVED. ANY DAMAGE TO PROPERTY OUTSIDE THE LEASED PROPERTY SHALL BE REPAIRED BY THE CONTRACTOR.
 14. ALL SUITABLE BORROW MATERIAL FOR BACKFILL OF THE SITE SHALL BE INCLUDED IN THE BID. EXCESS TOPSOIL AND UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFF SITE AT LOCATIONS APPROVED BY GOVERNING AGENCIES PRIOR TO DISPOSAL.
 15. SEEDING AND MULCHING OF THE SITE WILL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER COMPLETION OF THE SITE DEVELOPMENT. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING AN ADEQUATE COVER OF VEGETATION OVER THE SITE FOR A ONE YEAR PERIOD.
 16. RECORD DRAWINGS: MAINTAIN A RECORD OF ALL CHANGES, SUBSTITUTIONS, ETC., BETWEEN THE WORK AS SPECIFIED AND INSTALLED. RECORD CHANGES ON A CLEAN SET OF CONTRACT DRAWINGS WHICH SHALL BE TURNED OVER TO THE CONSTRUCTION MANAGER UPON COMPLETION OF THE PROJECT.
 17. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED LICENSES, FEES, INSPECTIONS, ETC. BUILDING PERMITS WILL BE OBTAINED BY CONTRACTOR & PAID FOR BY THE COUNTY.
 18. CONTRACTOR SHALL KEEP THE PROJECT SITE FREE FROM ACCUMULATION OF WASTE MATERIALS & RUBBISH AT ALL TIMES DURING CONSTRUCTION PERIOD & SHALL REMOVE. ALL WASTE MATERIALS & RUBBISH FROM PROJECT SITE AT THE COMPLETION OF WORK, EXCEPT THOSE SPECIFICALLY REQUIRED BY THE CONTRACT DOCUMENTS TO BE LEFT FOR THE OWNER'S MAINTENANCE. CONSTRUCTION WASTE MAY NEITHER BE BURNED NOR BURIED AND MUST BE TAKEN TO AN APPROVED LANDFILL AT CONTRACTOR EXPENSE.
 19. SECURITY TO THE SITE SHALL BE MAINTAINED AT ALL TIMES.
 20. CONTRACTOR IS RESPONSIBLE FOR THE CONDITION OF THE ALL CABINETS AND /OR SHELTER DURING AND AFTER CONSTRUCTION. CABINETS AND /OR SHELTERS SHALL NOT BE USED FOR STORAGE OF TOOLS, CONSTRUCTION MATERIAL OR EQUIPMENT. CONTRACTOR SHALL ENSURE THE CABINETS AND /OR SHELTERS IS CLEANED AT THE CONCLUSION OF CONSTRUCTION. SHELTER FLOORS SHALL BE CLEANED, WAXED AND BUFFED TO SHINE.

| ABBREVIATION KEY | |
|------------------|-----------------------------|
| & | AND |
| AMSL | AVERAGE ABOVE MEAN SEALEVEL |
| BTM. | BOTTOM |
| € | CENTERLINE |
| CONC. | CONCRETE |
| CONT. | CONTINOUS |
| C.J. | CONTROL JOINT |
| DIA. | DIAMETER |
| (E) | EXISTING |
| EL. | ELEVATION |
| E.S. | EACH SIDE |
| E.W. | EACH WAY |
| FFI | FLANGE FACING INSIDE |
| FFO | FLANGE FACING OUTSIDE |
| FT. | FEET |
| F.V. | FIELD VERIFY |
| GALV. | GALVANIZED |
| HORIZ. | HORIZONTAL |
| IN. | INCH |
| LFP | LEG FACING OUTSIDE |
| LLVD | LONG LEG VERTICAL DOWN |
| LLVU | LONG LEG VERTICAL UP |
| MAX. | MAXIMUM |
| MFR. | MANUFACTURER |
| MIN. | MINIMUM |
| MPH | MILES PER HOUR |
| O.C. | ON CENTER |
| (P) | PROPOSED |
| REINF. | REINFORCE |
| REQ'D | REQUIRED |
| SIM. | SIMILAR |
| STD. | STANDARD |
| STL. | STEEL |
| TYP. | TYPICAL |
| UNO | UNLESS NOTED OTHERWISE |
| VERT. | VERTICAL |
| VLD | VERTICAL LEG DOWN |
| VLU | VERTICAL LEG UP |
| W/ | WITH |



LOCATION:

34.072992 , -77.901794

NEAREST ADDRESS:

902 THE CAPE BLVD,
WILMINGTON, NC 28412

THE CAPE BLVD.

CTG-NC 0010081

| NO. | DATE | DESCRIPTION |
|-----|---------|-------------|
| A | 5/12/21 | FINAL |
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PROJECT:

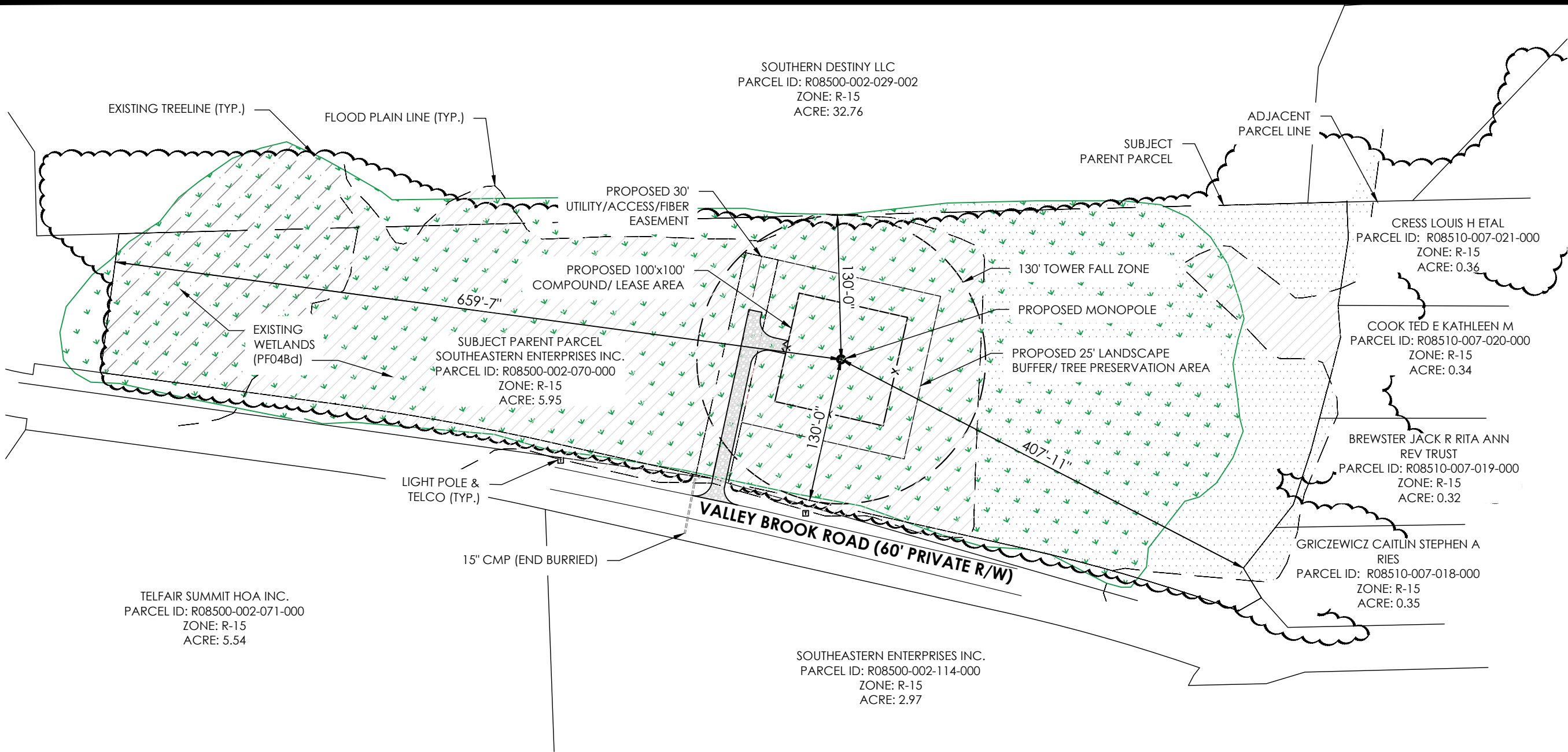
SITE DEVELOPMENT

DESIGNER: INS

CHECKED: JTM

JOB #: 20KCG_NNC-0017

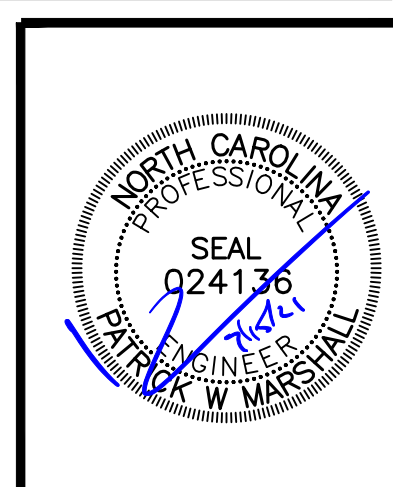
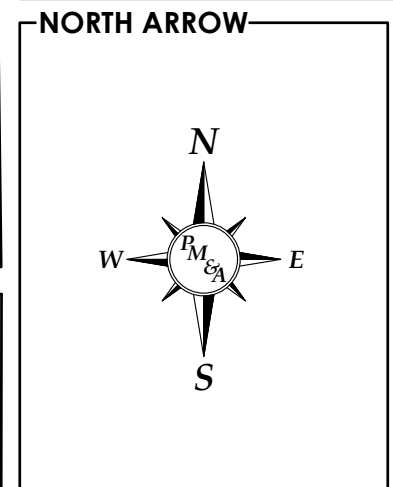
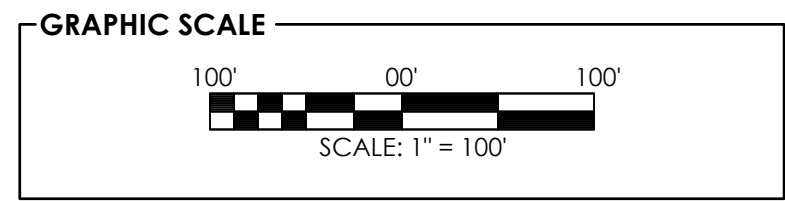
GENERAL NOTES



- GENERAL NOTES**
- 1. SITE PLAN SHOWN WAS TAKEN FROM SURVEY INFORMATION PROVIDED BY POINT TO POINT LAND SURVEYORS, INC. CONTRACTOR TO VERIFY ALL EXISTING INFORMATION IS INDICATED ON SITE PLAN. CONTRACTOR IS TO ESTABLISH THE EXISTENCE AND LOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES. IMMEDIATELY NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES.
 - 2. PARCEL DATA SHOWN WAS TAKEN FROM INFORMATION PROVIDED BY POINT TO POINT LAND SURVEYORS, INC & NEW HANOVER COUNTY GIS, PROPERTY INFORMATION RESEARCH WEB SITE.
 - 3. EXISTING WETLANDS ON SITE DESIGNATED AS FRESHWATER FORESTED/SHRUB WETLAND (PFO4Bd)
 - 4. ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES BY NORTH CAROLINA STATE CODE.
 - 5. PROPOSED ROUTES ARE SHOWN AS SCHEMATIC.
 - 6. HAND DIG ALL EXISTING UTILITIES DEEPER THAN 12" TO LOCATE

FLOOD ZONE KEY

| | |
|--|---|
| | ZONE "X" (AREA OF MINIMAL FLOOD HAZARD) |
| | SHADED ZONE "X" (0.2% ANNUAL CHANCE FLOOD HAZARD) |
| | ZONE "AE" (BASE FLOOD ELEVATION 9') |



LOCATION:

34.072992 , -77.901794

NEAREST ADDRESS:
902 THE CAPE BLVD,
WILMINGTON, NC 28412

THE CAPE BLVD.

CTG-NC 0010081

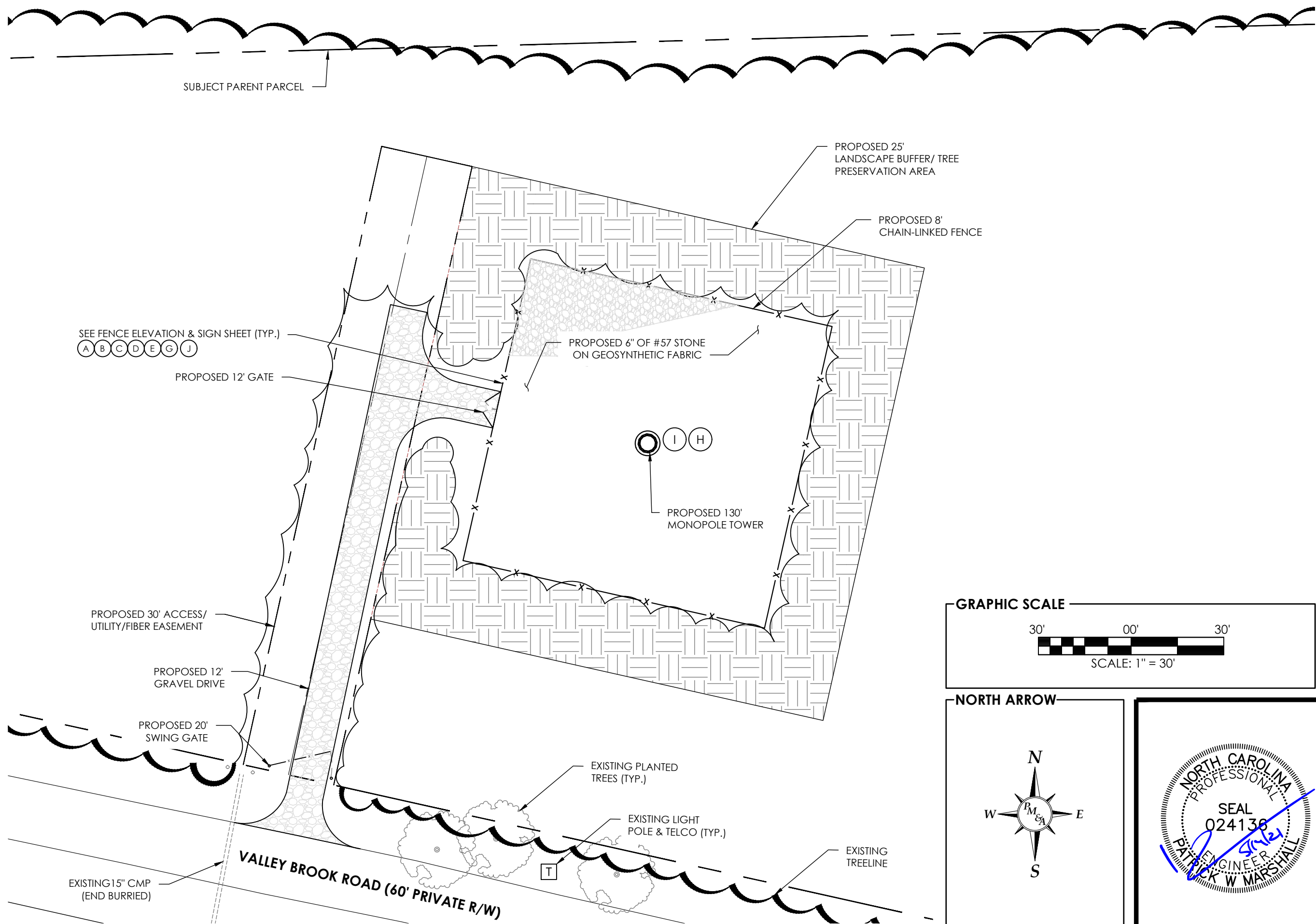
| NO. | DATE | DESCRIPTION |
|-----|---------|-------------|
| A | 5/12/21 | FINAL |
| B | 7/15/21 | REVISION |
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PROJECT:
SITE DEVELOPMENT

DESIGNER: INS
CHECKED: JTM
JOB #: 20KCG_NNC-0017

OVERALL
SITE PLAN

C-1

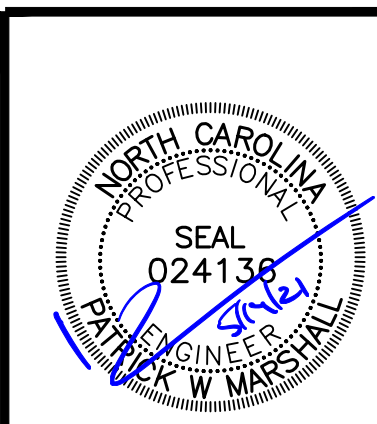
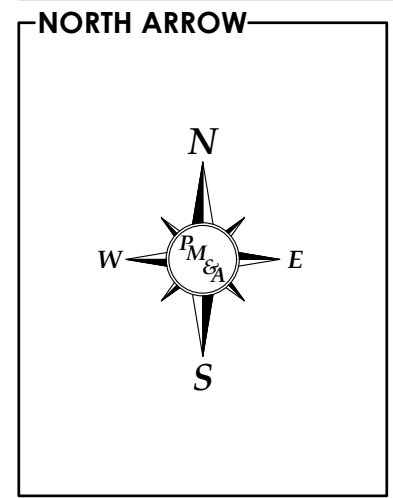
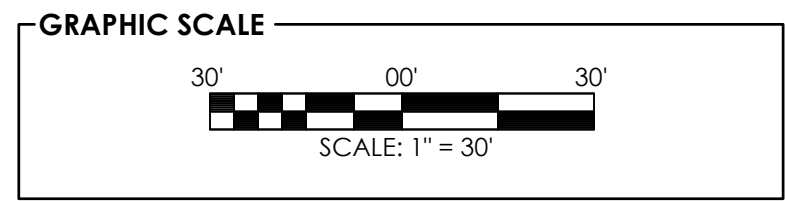


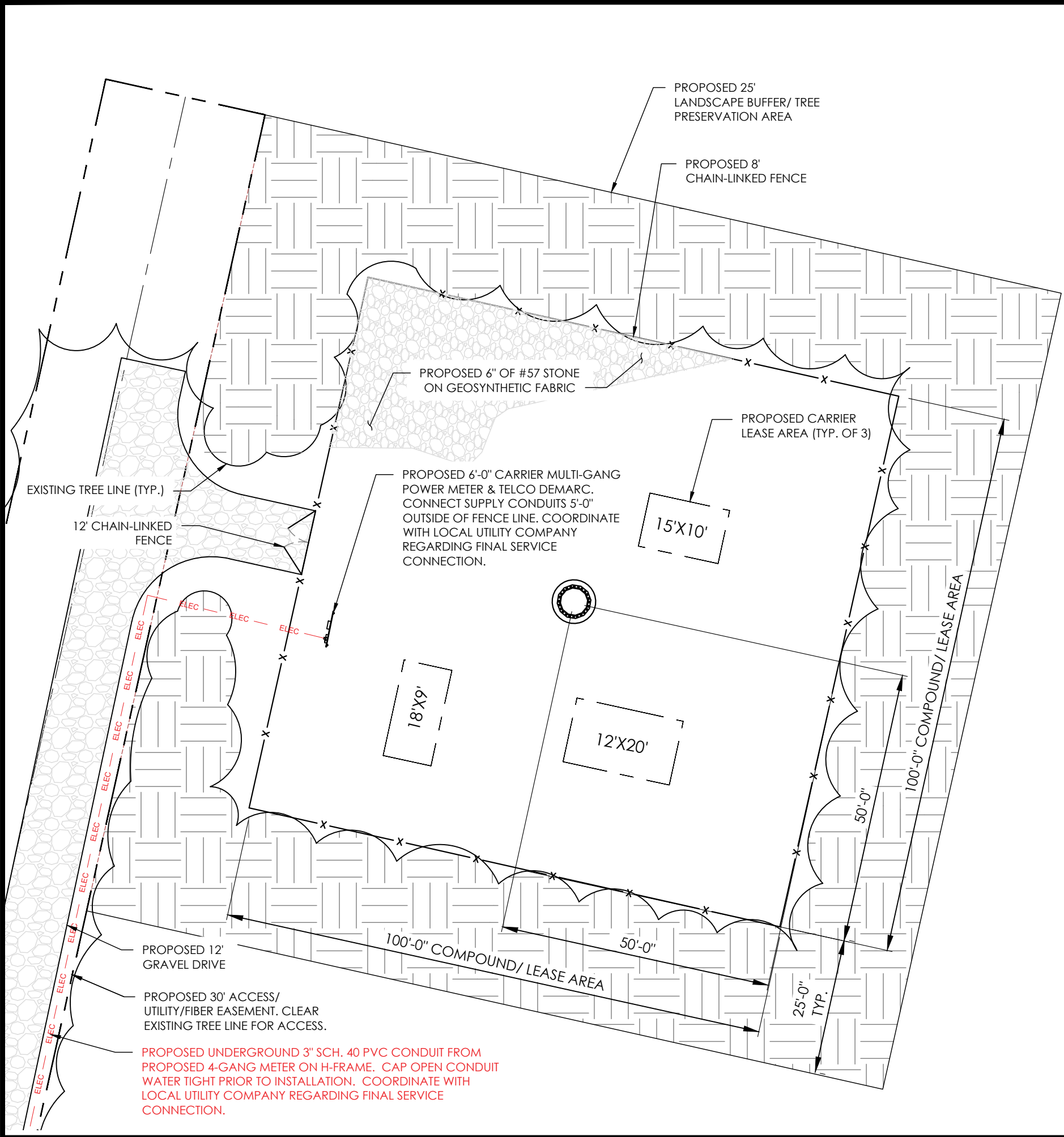
LOCATION:
34.072992 , -77.901794
NEAREST ADDRESS:
902 THE CAPE BLVD,
WILMINGTON, NC 28412
THE CAPE BLVD.
CTG-NC 0010081

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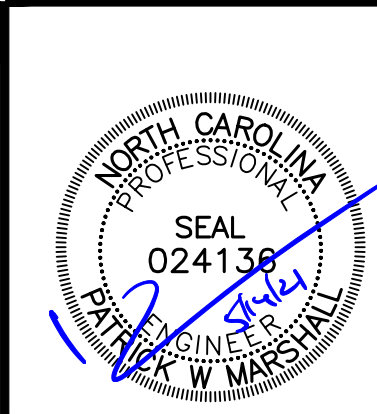
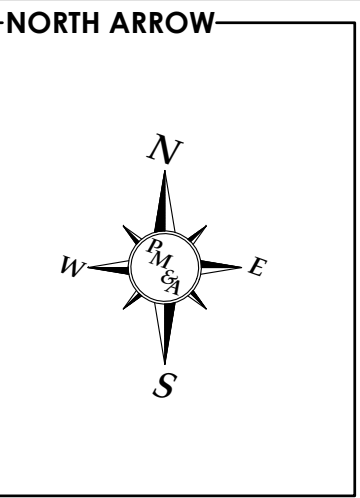
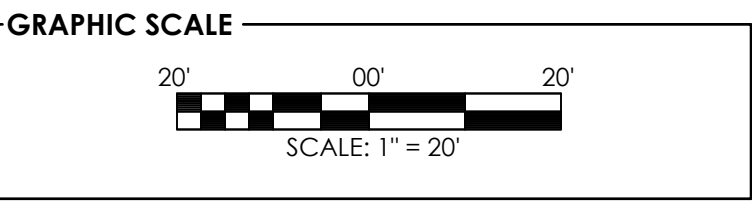
PROJECT:
SITE DEVELOPMENT
DESIGNER: INS
CHECKED: JTM
JOB #: 20KCG_NNC-0017

ENLARGED
SITE PLAN





- GENERAL NOTES**
1. ALL MATERIAL AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY. FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND ENGINEER PRIOR TO INSTALLATION. CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND OF QUALITY OF MATERIAL AND EQUIPMENT BEING SUBSTITUTED.
 2. ACCESS TO PROPOSED WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE INTENDED CONSTRUCTION ACTIVITY, INCLUDING WORK SCHEDULE AND MATERIALS ACCESS WITH THE LEASING AGENT FOR APPROVAL.
 3. CONTRACTOR SHALL HAVE PRESENT ON SITE CURRENT CARRIER SUPPLIED INFORMATION PRIOR TO COMMENCE OF WORK; IE. RFDS, DESIGN DOCUMENTS SPECIFIC TO SITE AND CONFIGURATION. NOTIFY CONSTRUCTION MANAGER OF ANY DISCREPANCY PRIOR TO ARRIVAL AT SITE.
 4. ALL HARDWARE ASSEMBLY MANUFACTURER'S INSTRUCTION SHALL BE FOLLOWED EXACTLY AND SHALL SUPERSEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.
 5. ALL DAMAGE TO EXISTING UNDERGROUND, OVERHEAD OBSTACLES AND/OR EXISTING EQUIPMENT, PAD OR SHELTERS SHALL BE REPLACED BACK TO FULL ORIGINAL OR BETTER CONDITION & SHALL MATCH EXISTING CONDITIONS BY REPAIRS AT GENERAL CONTRACTOR EXPENSE.
 6. THE EXISTING TREES AND VEGETATION ARE SUFFICIENT, UNO, TO PROVIDE THE REQUIRED SCREENING PER LOCAL ORDINANCE. IF THE VEGETATION IS REMOVED OR DAMAGED, NEW LANDSCAPING/ SCREENING WILL BE INSTALLED TO MEET LOCAL ORDINANCE REQUIREMENTS.



LOCATION:

34.072992 , -77.901794

NEAREST ADDRESS:

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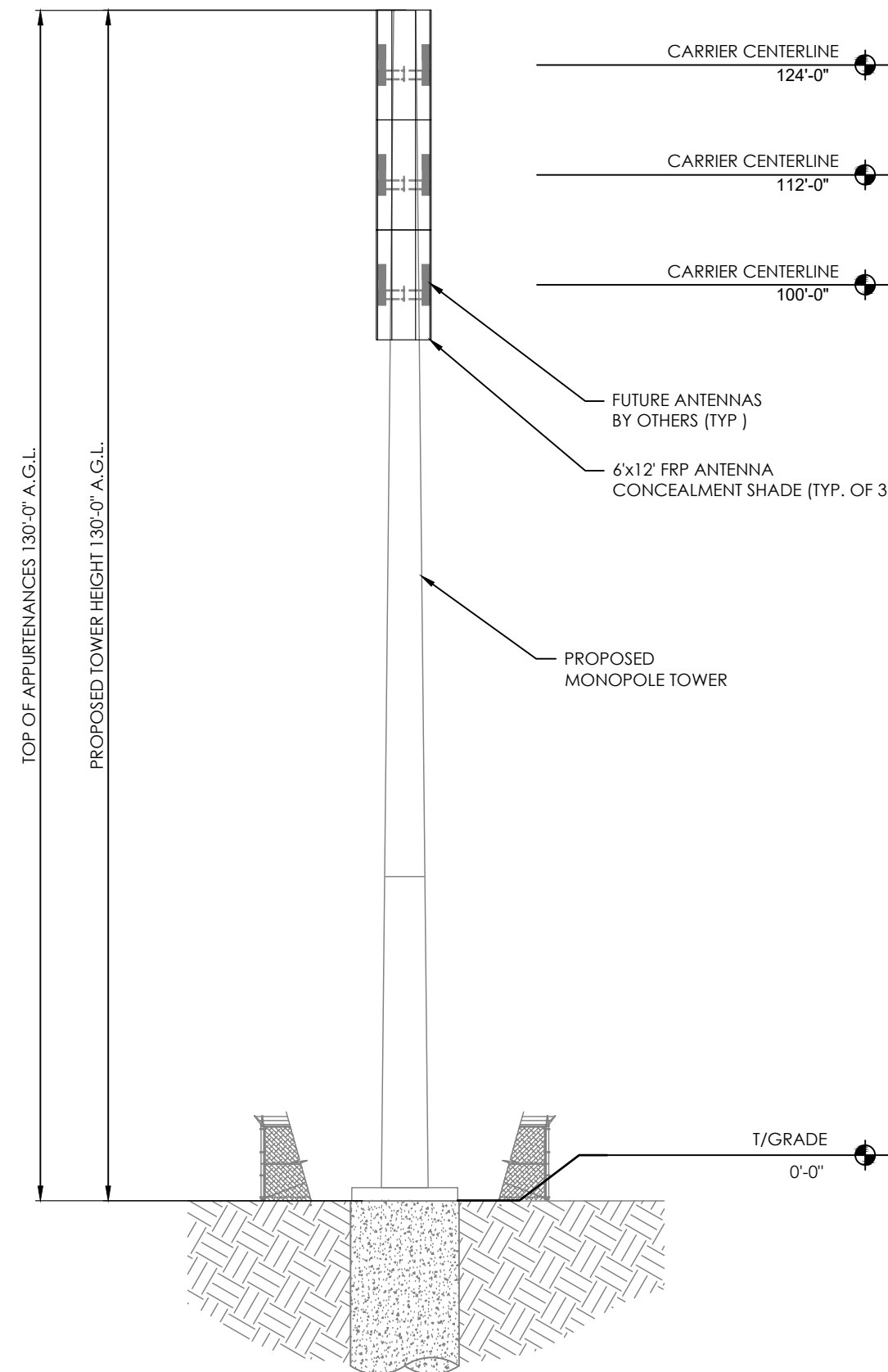
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PROJECT:
SITE DEVELOPMENT

DESIGNER: INS
CHECKED: JTM
JOB #: 20KCG_NNC-0017

COMPOUND PLAN

C-3



GENERAL NOTES

1. REFER TO TOWER STRUCTURAL ANALYSIS FOR PROPOSED ANTENNA CABLE LOADING DETAILS
2. TOWER ELEVATION SHOWN IS NOT DRAWN TO SCALE AND IS ONLY INTENDED FOR REFERENCE PURPOSES. REFER TO ORIGINAL TOWER DESIGN FOR ADDITIONAL INFORMATION.
3. ALL TOWER DIMENSIONS SHALL BE VERIFIED WITH THE PLANS PRIOR TO COMMENCING CONSTRUCTION. NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE DISCOVERED.
4. ALL HARDWARE ASSEMBLY MANUFACTURER'S INSTRUCTIONS SHALL BE FOLLOWED EXACTLY AND SHALL SUPERSEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.
5. ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY AND ALL SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND ENGINEER PRIOR TO INSTALLATION. CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND OF QUALITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.

FINISH NOTES:

| | |
|--------------------------|-------------------------------|
| TOWER- | GALVANIZED |
| TOWER MOUNTS- | GALVANIZED |
| ANTENNA- | NEUTRAL (MANUFACTURER FINISH) |
| FOUNDATIONS- | UNPAINTED CONCRETE |
| ICE BRIDGE- | GALVANIZED |
| CABLES- | BLACK |
| BASE CABINETS/EQUIPMENT- | NEUTRAL (MANUFACTURER FINISH) |



CTG

PMA

LOCATION:

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PROJECT:

SITE DEVELOPMENT

DESIGNER: INS

CHECKED: JTM

JOB #: 20KCG_NNC-0017

TOWER
ELEVATION

C-4

LOCATION:

34.072992 , -77.901794

NEAREST ADDRESS:

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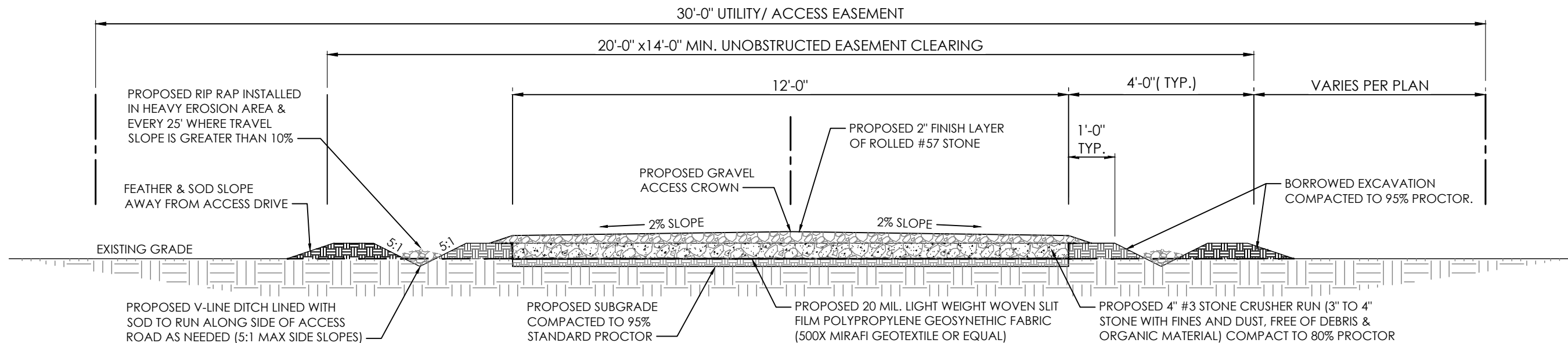
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PROJECT:
SITE DEVELOPMENT

DESIGNER: INS
CHECKED: JTM
JOB #: 20KCG_NNC-0017

**CONSTRUCTION
DETAILS- ACCESS**

C-5

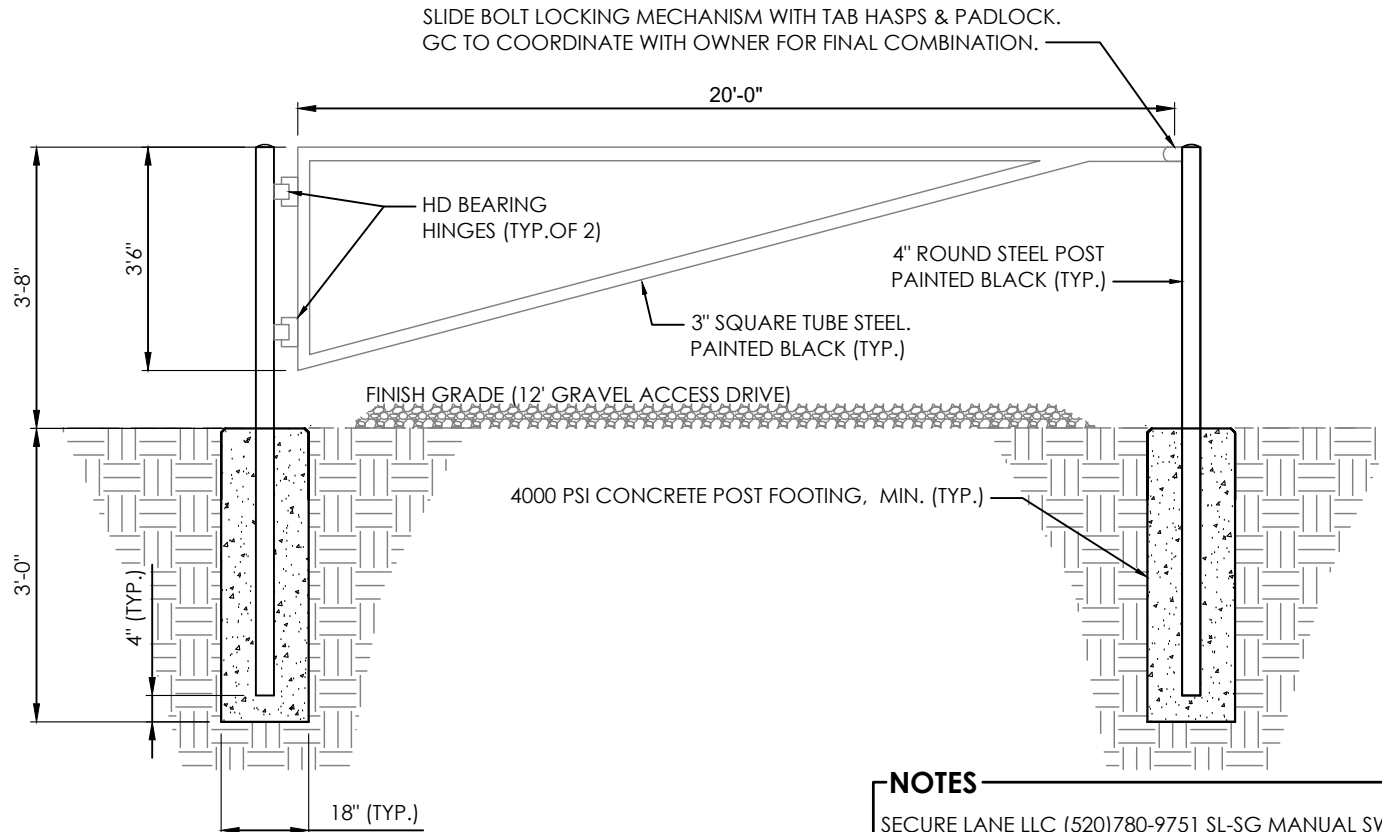


NOTES

- AGGREGATE IS BASED ON STANDARD AASHTO
- 2" CROWN IN CENTER OF ACCESS, UNLESS IN CURVES, THEN ACCESS SHOULD BE SLOPED TO INSIDE OF TURN OR CURVE.
- ALL MATERIALS SHALL MEET DOT STANDARD SPECIFICATION FOR ROAD CONSTRUCTION.
- GRAVEL BASE & TOP COURSE DEPTH SHOWN AS MIN. INCREASE DEPTH MAY BE REQUIRED DUE TO POOR SOIL CONDITIONS.
- MAX. GRADE: 123% GREATER THAN MAY REQUIRE PAVED SURFACE.
- PRIVATELY MAINTAINED ROAD ONLY.
- NO POTENTIAL FOR FURTHER DEVELOPMENT. THIS IS NOT A THRU ROAD.

ACCESS DRIVE

SCALE: NTS



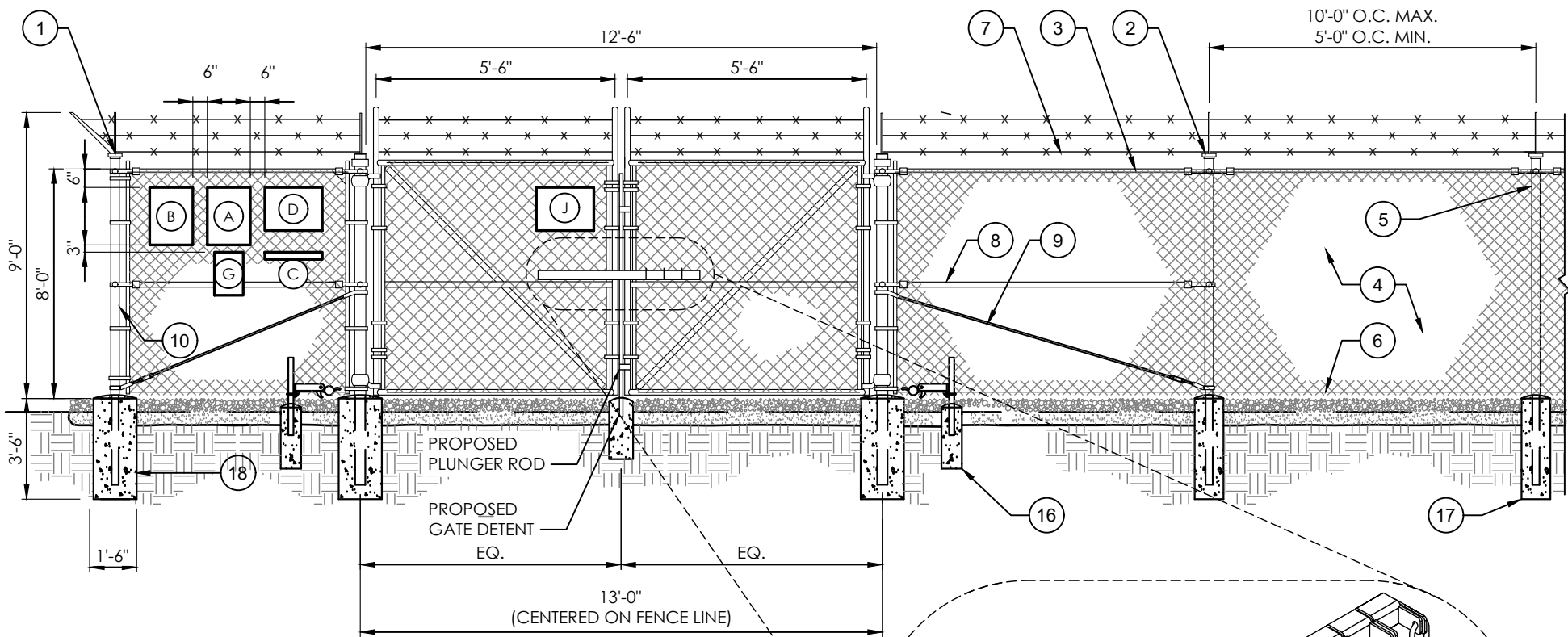
ACCESS DRIVE SWING GATE

SCALE: NTS

NOTES

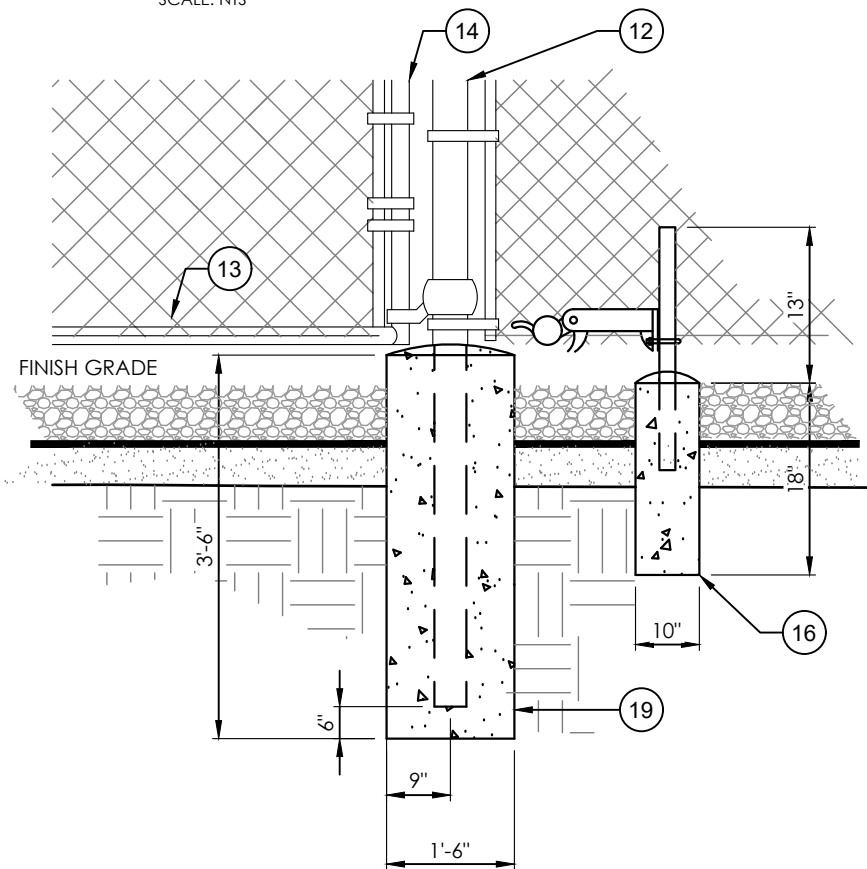
SECURE LANE LLC (520)780-9751 SL-SG MANUAL SWING GATE OR SIMILAR. AVAILABLE IN SINGLE SWING OR DUAL SWING @ WWW.BARRIERGATEARM.COM





STANDARD FENCE ELEVATION

SCALE: NTS

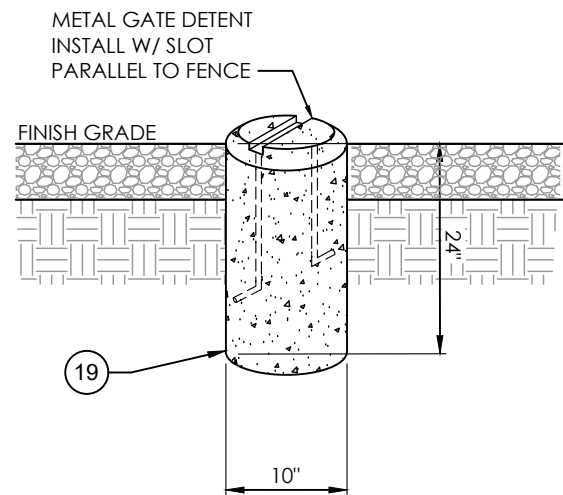


ACCESS DRIVE SWING GATE POST & DUCK BILL

SCALE: NTS

STYMILOCK DETAIL

SCALE: NTS



GATE DETENT DETAIL

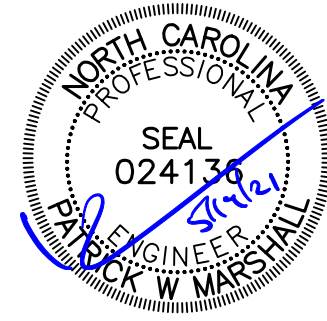
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GENERAL NOTES

- A. INSTALL FENCE PER ASTM F-567
- B. INSTALL SWING GATE PER ASTM F-900
- C. LOCAL ORDINANCE OF BARBED WIRE PERMIT REQUIREMENT SHALL BE COMPLIED IF REQUIRED.
- D. POST & GATE PIPE SIZES ARE INDUSTRY STANDARDS.
 - D.A. ALL PIPES TO BE 1-1/2" GALVANIZED (HOT DIP, ASTM A120 GRADE "A" STEEL).
 - D.B. ALL GATE FRAMES SHALL BE WELDED.
 - D.C. ALL WELDING SHALL BE COATED WITH (3) COATS OF COLD GALVANIZED STEEL (OR EQUAL).
- E. ALL OPEN POSTS SHALL HAVE END-CAPS
- F. USE GALVANIZED HOG-RING WIRE TO MOUNT ALL SIGNS.
- G. ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE FABRIC.
- H. CONTRACTOR SHALL PROVIDE AND INSTALL STYMIE-LOCK LOCKING MECHANISM ON 12'-0" GATE. COORDINATE W/ PM FOR FINAL COMBINATION CODE

KEYED NOTES

- 1. CORNER, END OR PULL POST 3" NOMINAL SCHEDULE 40 PIPE.
- 2. LINE POST: 2-1/2" SCHEDULED 40 PIPE, PER ASTM-F1083. LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 8'-0" O.C.
- 3. TOP RAIL & BRACE RAIL: 1-1/2" PIPE PER ASTM-F1083.
- 4. FABRIC: 9 GA CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392. ALL PIES TO BE GALVANIZED.
- 5. TIE WIRE: MINIMUM 11 GA. GALVANIZED STEEL AT POSTS AND RAILS A SINGLE WRAP OF FABRIC TIE AND AT TENSION WIRE BY HOG RINGS SPACED MAXIMUM 24" INTERVALS.
- 6. TENSION WIRE: 9 GA. GALVANIZED STEEL
- 7. BARBED WIRE: DOUBLE STRAND 12-1/2" O.D. TWISTED WIRE TO MATCH WITH FABRIC 14 GA., 4 PT. BARBS SPACED ON APPROXIMATELY 5" CENTERS.
- 8. STRETCHER BAR
- 9. 3/8" DIAGONAL ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL THREADED ROD.
- 10. FENCE CORNER POST BRACE: 1-5/8" DIAMETER EACH CORNER EACH WAY.
- 11. 1-1/2" MAXIMUM CLEARANCE FROM GRADE.
- 12. GATE POST 4" SCHEDULE 40 PIPE (FOR GATE WIDTHS UP THRU 7' OR 14' FOR DOUBLE SWING GATES) PER ASTM-F1083.
- 13. GATE FRAME: 1-1/2" PIPE, PER ASTM-F1083.
- 14. GATE FRAME: 1-5/8" DIAMETER PIPE, PER ASTM-F1083.
- 15. GATE DIAGONAL GALVANIZED STEEL 1-1/2" PIPE.
- 16. DUCK BILL OPEN GATE HOLDER. VERIFY LOCATION IN FIELD PRIOR TO INSTALLATION.
- 17. LINE POST: CONCRETE FOUNDATION (4000 PSI)
- 18. CORNER POST: CONCRETE FOUNDATION (4000 PSI)
- 19. GATE POST: CONCRETE FOUNDATION (4000 PSI)



cTg

PMA

LOCATION:

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PROJECT:

SITE DEVELOPMENT

DESIGNER:

INS

CHECKED:

JTM

JOB #:

20KCG_NNC-0017

**CONSTRUCTION
DETAILS- FENCE**

C-6

LOCATION:

34.072992 , -77.901794

NEAREST ADDRESS:

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WILMINGTON, NC 28412

THE CAPE BLVD.

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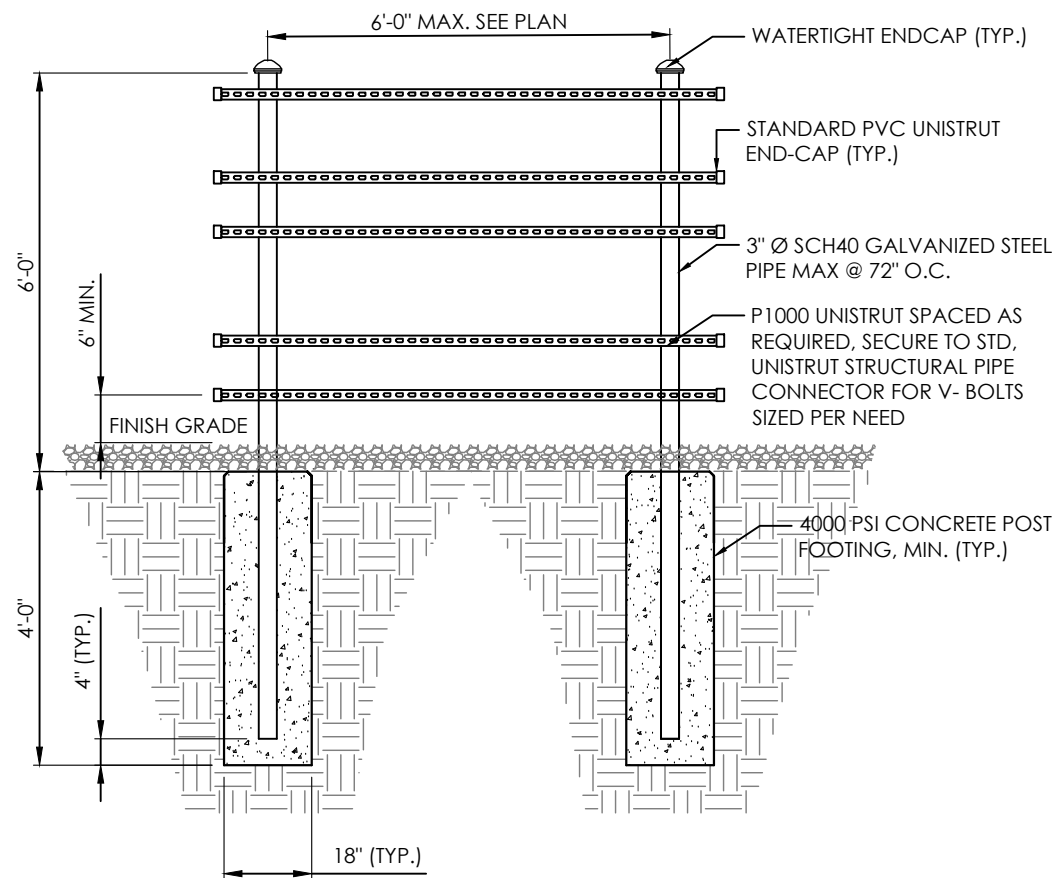
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PROJECT:
SITE DEVELOPMENT

DESIGNER: INS
CHECKED: JTM
JOB #: 20KCG_NNC-0017

**CONSTRUCTION
DETAILS-
COMPOUND**

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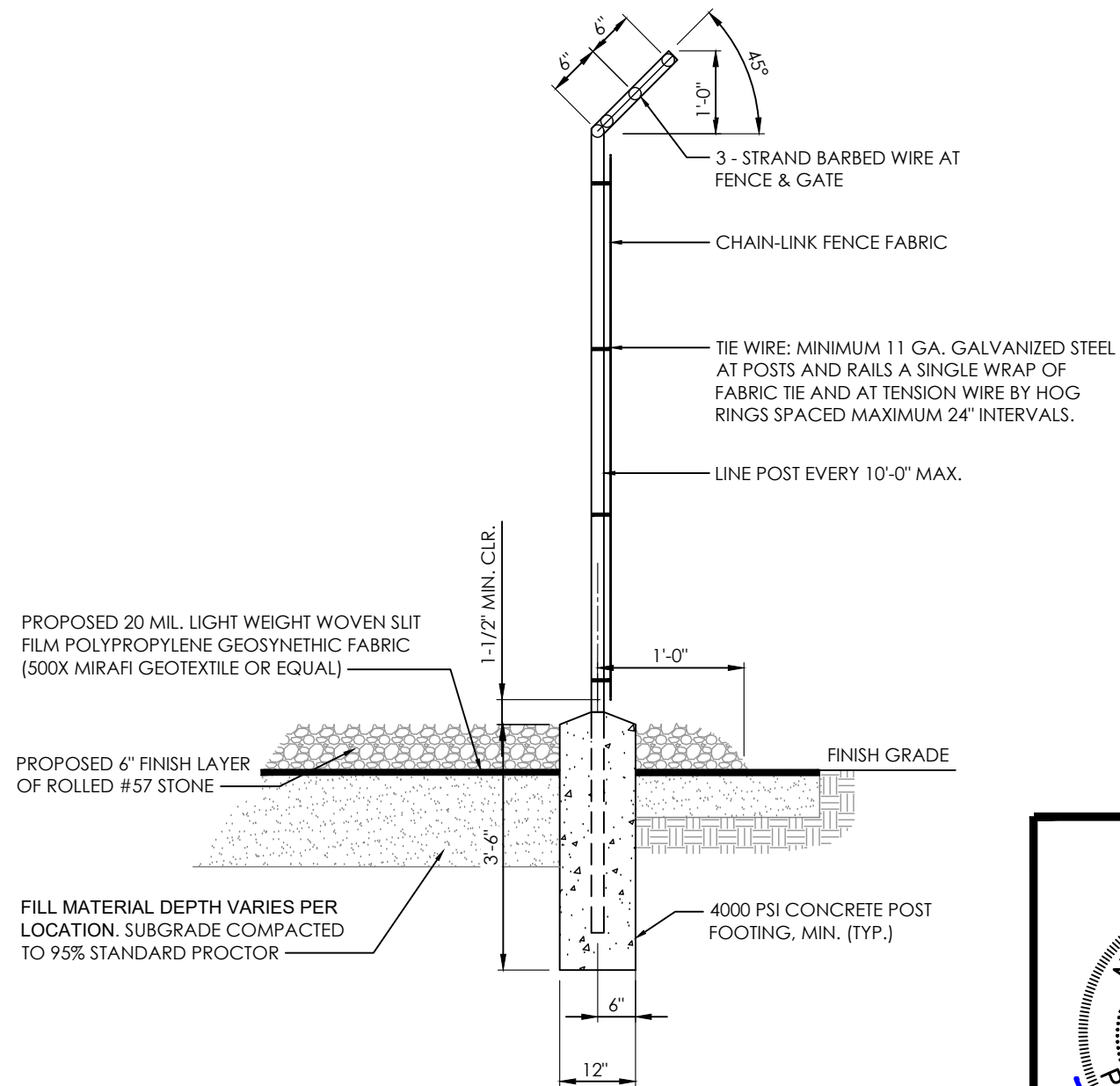


NOTES

1. VERIFY ALL MOUNTING LOCATION PER EQUIPMENT MANUFACTURER FOR LOCATION & QUANTITY OF UNISTRUT ON H-FRAME. (MIN. 5 UNISTRUT SHALL BE INSTALLED)
2. ALL EQUIPMENT SHALL BE MOUNTED A MIN. OF 6" ABOVE FINISH GRADE.
3. ALL CONDUIT STUB-UP TO BE ATTACHED NO GREATER HAD 6" MAX. ABOVE FINISHED GRADE. ATTACH ALL CONDUIT ABOVE FIRST 6" AT 12" ON CENTER.
4. BOND ALL METALLIC SURFACES TO GROUND RING WITH #2 SOLID AWG TIN-PLATED COPPER GROUND CONDUCTOR.
5. ALL GROUND LEADS SHALL BE INSTALLED IN 1" SCH. 40 PVC CONDUIT. PROVIDE WATERTIGHT CAULK SEAL & ADEQUATE COIL FOR CONNECT TO PROPOSED EQUIPMENT.

H-FRAME DETAIL

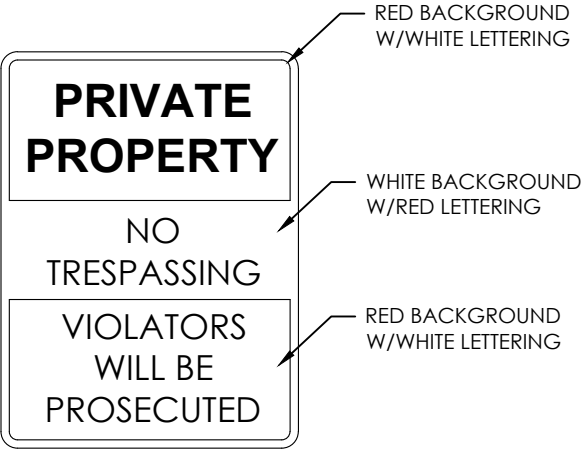
SCALE: NTS



COMPOUND FENCE MATERIALS

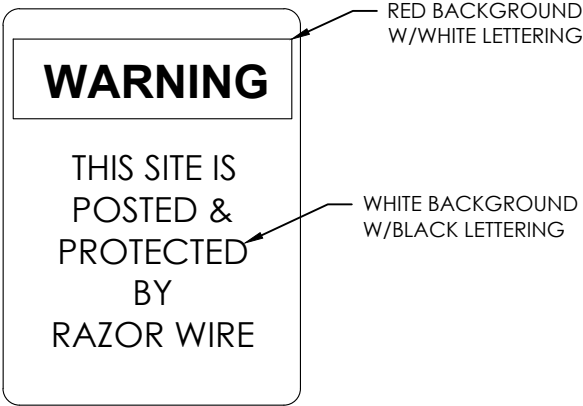
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(A) NO-TRESSPASSING SIGN

18"WIDE x 24" HIGH



(B) RAZOR-WIRE SIGN

18"WIDE x 24" HIGH



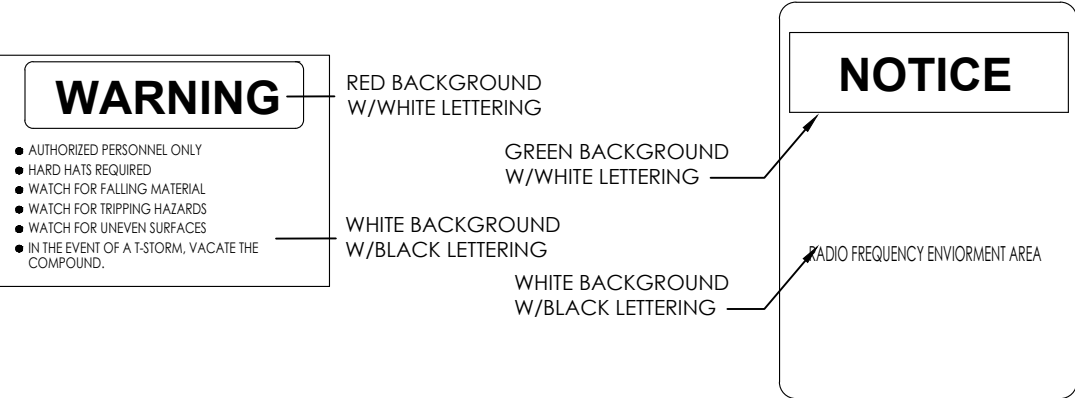
(C) FCC REGISTRATION SIGN

24"WIDE x 18" HIGH



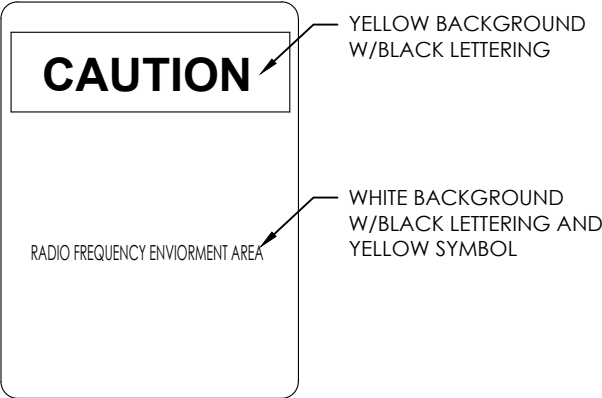
(D) MARKETING/ ID SIGN

24" WIDE x 18" HIGH



(E) CAUTION - HARD HAT CONSTRUCTION AREA AND TRIPPING HAZARDS

24" WIDE x 18" HIGH

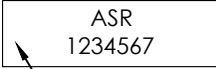


NOTES

TO BE MOUNTED NEAR TOWER LEG W/ CLIMBING CABLE. DO NOT RESTRICT CLIMBING ACCESS.

(H) CAUTION-RFE SIGN

12" WIDE x 18" HIGH



NOTES

ASR SIGN TO BE MOUNTED AT TOWER BASE DURING CONSTRUCTION.

(I) ASR SIGN

10" WIDE x 4" HIGH



(J) OWNER SIGNAGE

36" WIDE x 24" HIGH

GENERAL NOTES

1. THE SITE SHALL ONLY CONTAIN SIGNAGE AS MANDATED BY THE FCC
2. ALL SIGNS TO BE INSTALLED ACCORDING TO DWG SITE SIGNAGE ADJACENT TO GATES (LEFT OR RIGHT SIDE OF GATE IS ACCEPTABLE, BUT MUST BE MOUNTED ON GATE SIDE OF COMPOUND, SO AS TO BE READABLE WITH GATES OPEN OR CLOSED).
3. SIGNS SHALL BE FABRICATED FROM CORROSION RESISTANT PRESSED METAL, AND PAINTED WITH LONG LASTING UV RESISTANT COATING.
4. SIGNS (EXCEPT WHERE NOTED OTHERWISE) SHALL BE MOUNTED TO THE TOWER, GATE AND FENCE USING A MIN. OF 9 GAUGE ALUMINUM WIRE, HOG RINGS (AS UTILIZED IN FENCE INSTALLATIONS) OR BRACKETS WHERE NECESSARY. BRACKETS SHALL BE OF SIMILAR METAL AS THE STRUCTURE TO AVOID GALVANIC CORROSION.
5. ADDITIONAL E911 ADDRESS SIGNS ARE REQUIRED AT EACH ACCESS ROAD GATE LEADING TO THE COMPOUND AS WELL AS ON THE COMPOUND GATE ITSELF.
6. ADDITIONAL FCC RESTRATION # SIGNS ARE REQUIRED AT EACH ACCESS ROAD GATE LEADING TO THE COMPOUND AS WELL AS ON THE COMPOUND GATE ITSELF. SIGN SHALL MEASURE 20" LONG x 4" TALL). THE LETTERS SHALL BE 1" AND THE NUMBERS SHALL BE 2".
7. RECOMMENDED SOURCES FOR OBTAINING SIGNAGE.

- ST CLAIR SIGNS
3184 WADE HAMPTON BLVD.
TYLORS, SC 29687
864-244-0040
- EXCEL SIGN & DECAL
1509 NORTH MILPITAS BLVD.
MILPITAS, CA 95035
408-942-8881
- RF EXPOSURE SIGNS
RICHARD TELL ASSOCIATES
3433 RINGTAR ROAD, SUITE 3
NORTH LAS VEGAS , NV 89030
702-645-3338



LOCATION:

34.072992 , -77.901794

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PROJECT:

SITE DEVELOPMENT

DESIGNER:

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CHECKED:

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JOB #:

20KCG_NNC-0017

SIGN DETAILS

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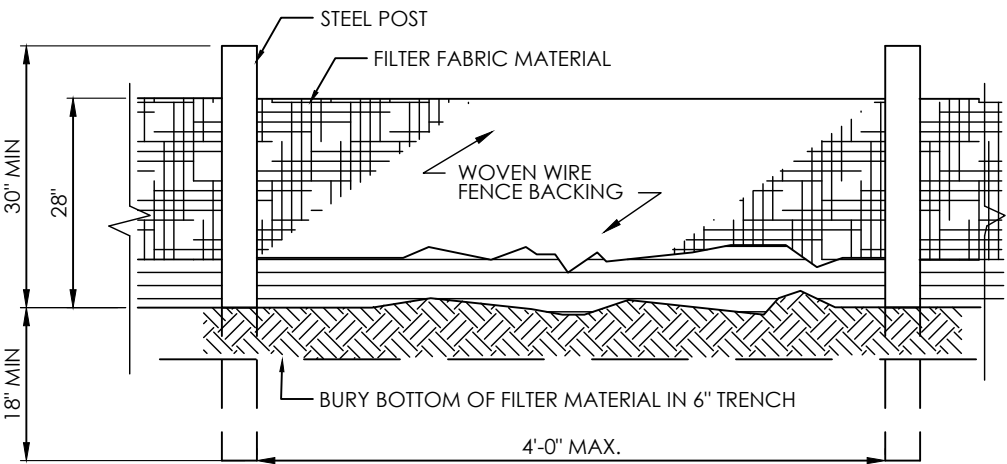


FOUNDATION, EXCAVATION & GRADING NOTES

1. ALL CUT AND FILL SLOPES SHALL BE 2 : 1 MAXIMUM.
2. ALL EXCAVATIONS ON WHICH CONCRETE IS TO BE PLACED SHALL BE SUBSTANTIALLY
3. HORIZONTAL ON UNDISTURBED AND UNFROZEN SOIL AND BE FREE FROM LOOSE MATERIAL AND EXCESS GROUND WATER. DEWATERING FOR EXCESS GROUND WATER SHALL BE PROVIDED IF REQUIRED.
4. CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC MATERIAL. IF SOUND SOIL IS NOT REACHED AT THE DESIGNATED EXCAVATION DEPTH, THE UNSATISFACTORY SOIL SHALL BE EXCAVATED TO ITS FULL DEPTH AND EITHER BE REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION SHALL BE FILLED WITH CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION.
5. ANY EXCAVATION OVER THE REQUIRED DEPTH SHALL BE FILLED WITH EITHER MECHANICALLY COMPACTED GRANULAR MATERIAL OR CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION. CRUSHED STONE MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION. STONE, IF USED, SHALL NOT BE USED AS COMPILING CONCRETE THICKNESS.
6. AFTER COMPLETION OF THE FOUNDATION AND OTHER CONSTRUCTION BELOW GRADE, AND 5. BEFORE BACK FILLING, ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS, AND SO FORTH.
7. ALL BACKFILLING SHALL (1) USE APPROVED MATERIALS CONSISTING OF EARTH, LOAM, 6. SANDY CLAYS, SAND AND GRAVEL, OR SOFT SHALE, (2) BE FREE FROM CLODS OR STONES OVER 2 1/2" MAXIMUM DIMENSIONS, AND (3) BE PLACED IN LAYERS AND COMPACTED.
8. SITE FILL MATERIAL AND FOUNDATION BACK FILL SHALL BE PLACED IN LAYERS, MAXIMUM 6" 7. DEEP BEFORE COMPACTION. EACH LAYER SHALL BE SPRINKLED IF REQUIRED AND COMPACTED BY HAND OR MACHINE TAMPERS TO 95% OF MAXIMUM DENSITY, AT THE OPTIMUM MOISTURE CONTENT OF ±2% AS DETERMINED BY ASTM DESIGNATION D-698, UNLESS OTHERWISE APPROVED. SUCH BACK FILL SHALL NOT BE PLACED BEFORE 3 DAYS AFTER PLACEMENT OF CONCRETE.
9. THE FOUNDATION AREA SHALL BE GRADED TO PROVIDE WATER RUNOFF AND PREVENT 8. WATER FROM STANDING. THE FINAL GRADE SHALL SLOPE AWAY IN ALL DIRECTIONS FROM THE FOUNDATION AREA (UP TO 1 FOOT OUTSIDE THE FENCE OR GROUND SYSTEM PERIMETER) AND SHALL BE COVERED WITH A GEOTEXTILE FABRIC MIRAFI 500X OR APPROVED EQUAL TO PREVENT REOCCURRENCE OF VEGETATIVE GROWTH, AN THEN SHALL BE COVERED WITH 4" DEEP COMPACTED STONE OR GRAVEL.
10. THE CONTRACTOR SHALL PROVIDE ALL EROSION AND SEDIMENTATION CONTROL MEASURES 9. AS REQUIRED BY LOCAL, CITY, COUNTY, AND STATE CODES AND ORDINANCES TO PROTECT EMBANKMENTS FROM SOIL LOSS AND TO PREVENT ACCUMULATION OF SOIL AND SILT IN STREAMS AND DRAINAGE PATHS FROM LEAVING THE CONSTRUCTION AREA. THIS MAY INCLUDE SUCH MEASURES AS SILT FENCES, STRAW BALE SEDIMENT BARRIERS, AND CHECK DAMS.
11. FILL PREPARATION: REMOVE ALL VEGETATION, TOPSOIL, DEBRIS, WET AND UNSATISFACTORY SOIL MATERIALS, OBSTRUCTIONS, AND DELETERIOUS MATERIAL FROM GROUND SURFACE PRIOR TO PLACING FILLS. PLOW STRIP OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL SO FILL MATERIAL WILL BOND WITH EXISTING SURFACE. WHEN SUBGRADE OR EXISTING GROUND SURFACE TO RECEIVE FILL HAS A DENSITY LESS THAN THAT REQUIRED FOR FILL, BREAK UP GROUND SURFACE TO REQUIRED DEPTH, PULVERIZE, MOISTURE CONDITION OR AERATE SOIL, AND RECOMPACT TO REQUIRED DENSITY.

FOUNDATION, EXCAVATION & GRADING NOTES

12. REPLACE EXISTING GRAVEL SURFACING ON AREAS FROM WHICH GRAVEL SURFACING IS REMOVED DURING CONSTRUCTION OPERATIONS. GRAVEL SURFACING SHALL BE REPLACED TO MATCH EXISTING ADJACENT GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS. SURFACES AND GRAVEL SURFACING SHALL BE FREE FROM CORRUGATIONS AND WAVES. EXISTING GRAVEL SURFACING MAY BE EXCAVATED SEPARATELY AND REUSED IF INJURIOUS AMOUNTS OF EARTH, ORGANIC MATTER, OR OTHER DELETERIOUS MATERIALS ARE REMOVED PRIOR TO REUSE. FURNISH ALL ADDITIONAL GRAVEL RESURFACING MATERIAL AS REQUIRED. BEFORE GRAVEL SURFACING IS REPLACED, SUBGRADE SHALL BE GRADED TO CONFORM TO REQUIRED SUBGRADE ELEVATIONS, AND LOOSE OR DISTURBED MATERIALS SHALL BE THOROUGHLY COMPACTED. DEPRESSIONS IN THE SUBGRADE SHALL BE FILLED AND COMPACTED WITH APPROVED SELECTED MATERIAL. GRAVEL SURFACING MATERIAL SHALL NO BE USED FOR FILLING DEPRESSIONS IN THE SUBGRADE.
13. PROTECT EXISTING GRAVEL SURFACING AND SUBGRADE IN AREAS WHERE EQUIPMENT LOADS WILL OPERATE. USE PLANKING OR OTHER SUITABLE MATERIALS DESIGNED TO SPREAD EQUIPMENT LOADS. REPAIR ANY DAMAGE TO EXISTING GRAVEL SURFACING OR SUBGRADE WHERE SUCH DAMAGE IS DUE TO THE CONTRACTOR'S OPERATIONS. ENSURE POSITIVE DRAINAGE DURING AND AFTER COMPLETION OF CONSTRUCTION.
14. RIPRAP SHALL BE CLEAN, HARD, SOUND, DURABLE, UNIFORM IN QUALITY, AND FREE OF ANY 14. DETRIMENTAL QUANTITY OF SOFT, FRIABLE, THIN, ELONGATED OR LAMINATED PIECES, DISINTEGRATED MATERIAL, ORGANIC MATTER, OIL, ALKALI, OR OTHER DELETERIOUS SUBSTANCE.
15. REMOVE ALL ORGANICS, ROCKS GREATER THAN 3", UNUSED FILL AND OTHER DEBRIS TO AN 15. AREA OFF SITE IN A LEGAL MANNER



NOTES

1. USE 36" DOT APPROVED FABRIC
2. USE STEEL POSTS

Ds2

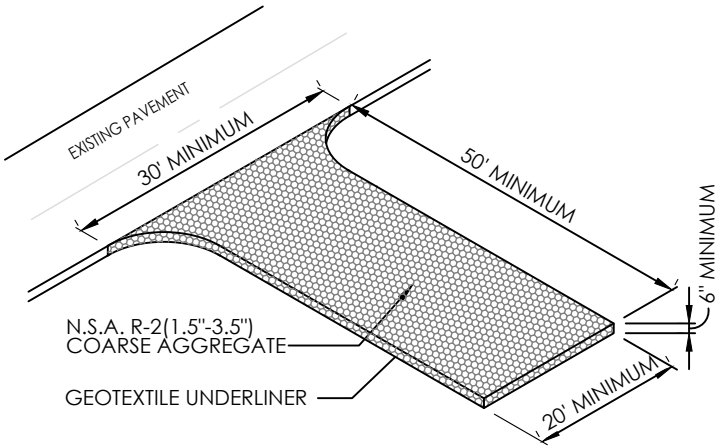
DISTURBED AREA STABILIZATION
(WITH TEMPORARY SEEDING)

Ds3

DISTURBED AREA STABILIZATION
(WITH PERMANENT VEGETATION)

SFC-SILT FENCE, TYPE-C

SCALE: NTS



MAINTENANCE

1. PERIODICALLY DRESS WITH 1.5"-3.5" STONE.
2. MAINTAIN IN A CONDITION THAT WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY.
3. IMMEDIATELY REMOVE MUD AND DEBRIS TRACKED OR SPILLED ONTO ROADWAYS.

CO-CONSTRUCTION EXIT DETAIL

SCALE: NTS

cTg

PM&A

LOCATION:

34.072992 , -77.901794

NEAREST ADDRESS:

902 THE CAPE BLVD,
WILMINGTON, NC 28412

THE CAPE BLVD.

CTG-NC 0010081

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PROJECT:

SITE DEVELOPMENT

DESIGNER:

INS

CHECKED:

JTM

JOB #:

20KCG_NNC-0017

GRADING NOTES &
DETAILS

C-9



EROSION & SEDIMENT CONTROL NOTES

1. COMPOUND SHALL BE RELATIVELY FLAT. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE.
2. DISTURBED AREAS LEFT IDLE SHALL BE STABILIZED WITH TEMPORARY VEGETATION AFTER 14 DAYS; AFTER 30 DAYS PERMANENT VEGETATION SHALL BE ESTABLISHED.
3. PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITIES, THE LIMITS OF THE DISTURBANCE SHALL BE CLEARLY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS.
4. THE CONSTRUCTION OF THE SITE WILL INITIATE WITH THE INSTALLATION OF EROSION CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITS AND EROSION. CONTRACTOR SHALL CALL APPROPRIATE COUNTY FOR AN INSPECTION OF SOIL EROSION CONTROL MEASURES PRIOR TO BEGIN GRADING ACTIVITY. ALL SEDIMENT CONTROL WILL BE MAINTAINED UNTIL ALL UPSTREAM GROUND WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED.
5. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE SYSTEMS. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
6. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR ELECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
7. THE CONTRACTOR SHALL REMOVE ACCUMULATED SILT WHEN THE SILT IS WITHIN 12" OF THE TOP OF THE SILT FENCE.
8. FAILURE TO INSTALL, OPERATE OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED.
9. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 7 DAYS SHALL BE STABILIZED WITH SEEDING.
10. CONTRACTOR SHALL REMOVE ALL EROSION CONTROL MEASURES AFTER COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER.
11. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-SIDTURBING ACTIVITIES.
12. ALL CUT AND FILL SLOPES MUST BE SURFACED ROUGHENED AND VEGETATED WITHIN SEVEN (7) DAYS OF THEIR CONSTRUCTION.
13. ALL FILL SLOPES WILL HAVE SILT FENCES AT THE TOE OF THE SLOPE.
14. ALL SEDIMENT AND EROSION CONTROL MEASURES WILL BE CHECKED DAILY AND ANY DEFICIENCIES NOTED WILL BE CORRECTED BY THE END OF EACH DAY. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY AFTER ON-SITE INSPECTION BY THE ISSUING AUTHORITY.
15. A 25' MIN. UNDISTURBED VEGETATION BUFFER ADJ. TO ALL RUNNING STREAMS AND CREEKS WILL BE LEFT AND MAINTAINED.
16. MAINTENANCE STATEMENT: EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN AND REPAIRED BY THE GENERAL CONTRACTOR.
17. ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS.
18. CONSTRUCTION EXIT - TO REDUCE OR ELIMINATE THE TRANSPORT OF MUD FROM THE CONSTRUCTION AREA ONTO PUBLIC RIGHT-OF-WAYS, STREETS, ALLEYS, SIDEWALKS, OR PARKING AREAS. IMMEDIATELY REMOVE MUD AND DEBRIS TRACKED OR SPILLED ONTO ROADWAYS.

EROSION & SEDIMENT CONTROL NOTES

19. TYPE C SEDIMENT BARRIER - TO PREVENT ANY SEDIMENT CARRIED BY SHEET FLOW FROM LEAVING THE SITE AND ENTERING NATURAL DRAINAGE WAYS OR STORM DRAINAGE SYSTEMS.
- 20.DISTURBED AREA STABILIZATION (TEMPORARY) - TO ESTABLISH A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED AREAS.
- 21.DISTURBED AREA STABILIZATION (PERMANENT) - TO ESTABLISH A PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOD, OR LEGUMES ON DISTURBED AREAS.
- 22.DISTURBED AREA DUST CONTROL- TO CONTROL THE SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITES, ROADWAYS, AND SIMILAR SITES.

EROSION & SEDIMENT CONTROL COMPOUND NOTES

- A. USE OF SWALES AND/OR DRAINAGE DITCHES FOR PROPER WATER RUNOFF AS NEEDED.
- B. AGGREGATE IS BASED ON STANDARD AASHTO.
- C. SLOPE NOT TO EXCEED 1/4" PER FOOT TO MAX. GRADE OF 6" FROM CENTER OF COMPOUND TO EACH FENCE LINE.
- D. SUB-GRADE SHALL BE COMPACTED BY SHEEPS FOOT VIBRATOR OR RUBBER TIRED ROLLERS WEIGHING AT LEAST EIGHT TONS.
- E. FINISHED GRADE SHALL BE COMPACTED BY SMOOTH DRUM VIBRATOR ROLLERS WEIGHING AT LEST EIGHT TONS. FINISHED GRADE SHALL BE UNIFORM AND LEVEL.
- F. GRADING IS REQUIRED FOR THE PROPOSED CONSTRUCTION. COMPOUND SHALL BE RELATIVELY FLAT. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE.
- G. DISTURBED AREAS LEFT IDLE SHALL BE STABILIZED WITH TEMPORARY VEGETATION AFTER 14 DAYS; AFTER 30 DAYS PERMANENT VEGETATION SHALL BE ESTABLISHED.
- H. MAINTENANCE STATEMENT: EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN AND REPAIRED BY THE GENERAL CONTRACTOR.
- I. ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS.
- J. CONSTRUCTION EXIT - TO REDUCE OR ELIMINATE THE TRANSPORT OF MUD FROM THE CONSTRUCTION AREA ONTO PUBLIC RIGHT-OF-WAYS, STREETS, ALLEYS, SIDEWALKS, OR PARKING AREAS. IMMEDIATELY REMOVE MUD AND DEBRIS TRACKED OR SPILLED ONTO ROADWAYS.
- K. TYPE C SEDIMENT BARRIER - TO PREVENT ANY SEDIMENT CARRIED BY SHEET FLOW FROM LEAVING THE SITE AND ENTERING NATURAL DRAINAGE WAYS OR STORM DRAINAGE SYSTEMS.
- L. DISTURBED AREA STABILIZATION (TEMPORARY) - TO ESTABLISH A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED AREAS.
- M. DISTURBED AREA STABILIZATION (PERMANENT) - TO ESTABLISH A PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOD, OR LEGUMES ON DISTURBED AREAS. CONTRACTOR TO INSTALL SOD TO MATCH THE SPECIES USED BY THE UNIVERSITY OF HOUSTON.
- N. DISTURBED AREA DUST CONTROL - TO CONTROL THE SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITES, ROADWAYS, AND SIMILAR SITES.



LOCATION:

34.072992 , -77.901794

NEAREST ADDRESS:

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WILMINGTON, NC 28412

THE CAPE BLVD.

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PROJECT:

SITE DEVELOPMENT

DESIGNER:

INS

CHECKED:

JTM

JOB #:

20KCG_NNC-0017

GRADING NOTES &
DETAILS

C-10



LOCATION:

34.072992 , -77.901794

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WILMINGTON, NC 28412

THE CAPE BLVD.

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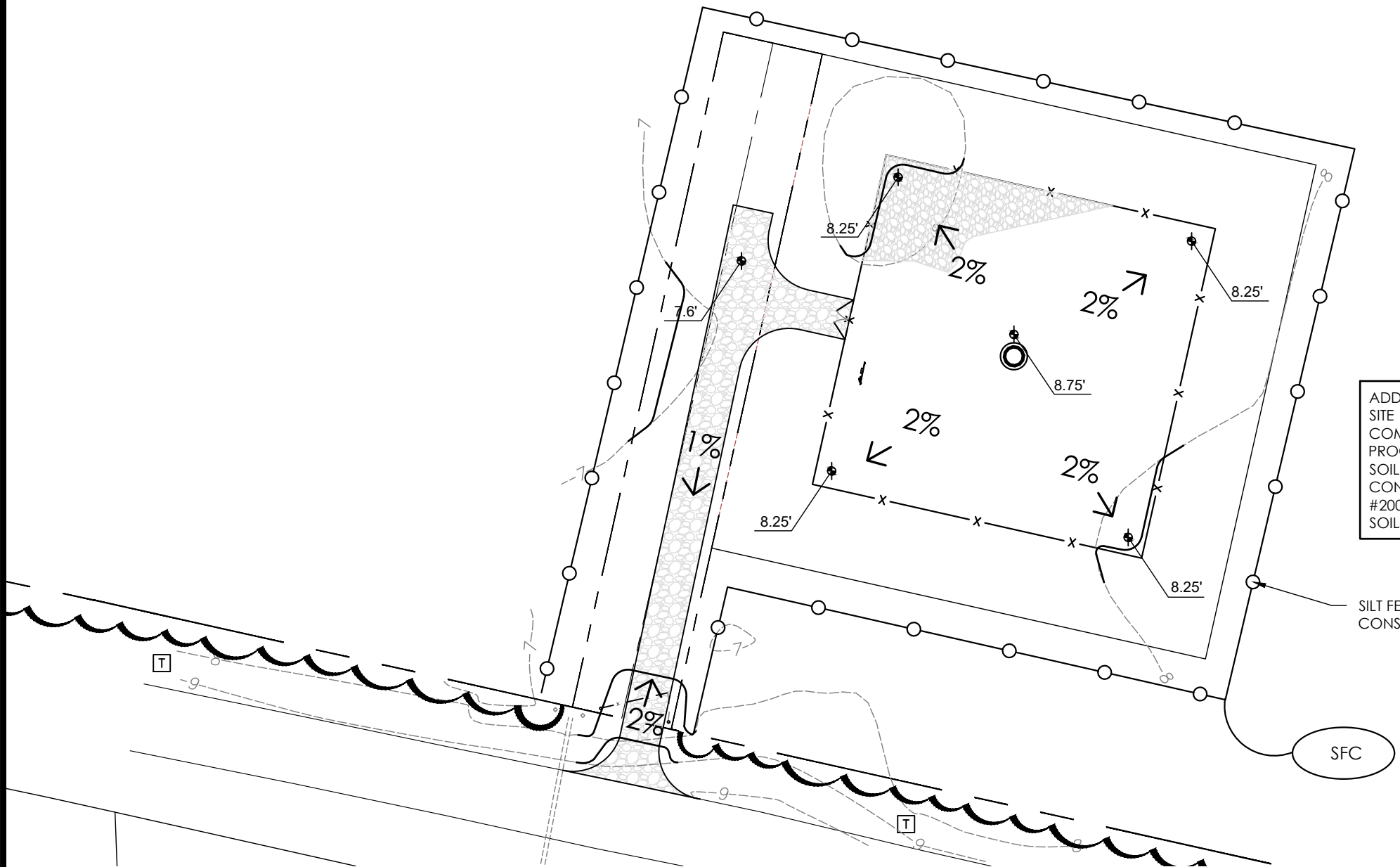
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PROJECT:
SITE DEVELOPMENT

DESIGNER: INS
CHECKED: JTM
JOB #: 20KCG_NNC-0017

**GRADING &
EROSION
CONTROL
PLAN**

C-11



ADD CLEAN DIRT FILL TO ENTIRE SITE AREA TO RAISE SITE 12". INSTALL FILL DIRT & PACK IN 6" LIFTS TO COMPACTED AT A MIN. OF 98% STANDARD PROCTOR. ALL IMPORTED FILL SHOULD BE CLEAN SOIL (FREE OF ROOTS & DEBRIS AND SHOULD CONTAIN LES THAN 10% BY DRY WEIGHT PASSING #200. DO NOT REUSE ANY EXISTING EXCAVATED SOILS FOR STRUCTURAL FILL.

SILT FENCE/LIMITS OF CONSTRUCTION

SFC

STORM WATER CALCS

- RUNOFF OF FIRST 1.5" OF RAINFALL OVER LEASE AREA AND EASEMENT AREAS IS...

(10,000 SF COMPOUND + 2,725.087 SF DRIVE) = 12,725 SF OF IMPERVIOUS COVER
RETAIN FIRST 1.5" OF RAINFALL ACROSS NEW DEVELOPMENT AREA.

VMAX. RET. = (DEPTH OF RAINFALL IN FT) (TOTAL SF OF IMPERVIOUS)

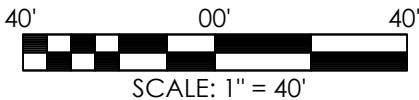
VMAX. RET. = (.125FT) (12,725)

VMAX. RET. = 1,590.625 CF

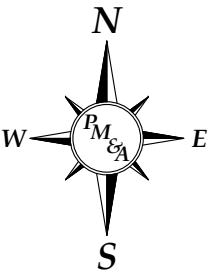
IMPERVIOUS SURFACE RATIOS

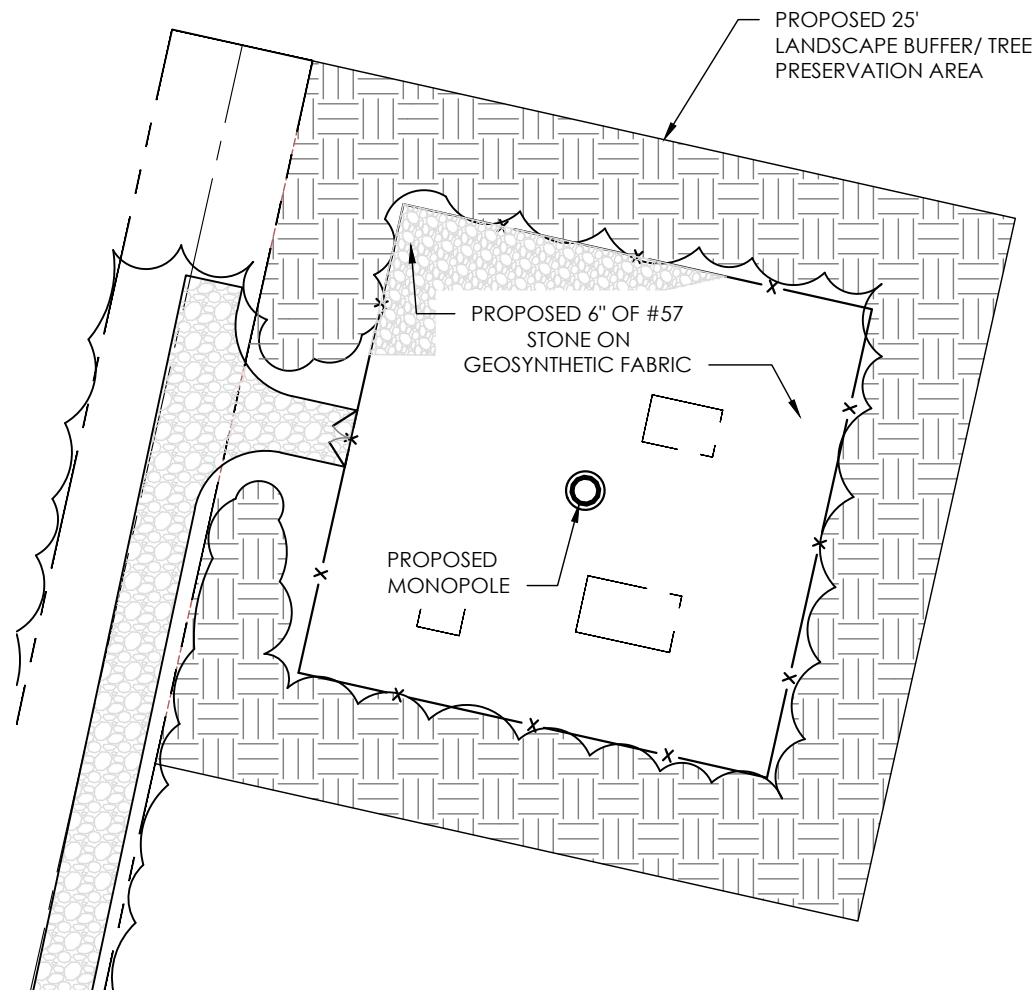
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|--|-----------------------------|
| EXISTING TRACT SIZE: | 5.95 ACRES (259,182 SQ.FT.) |
| <u>EXISTING PERVIOUS/ IMPERVIOUS AREA</u> | |
| TOTAL EXISTING PERVIOUS AREA: | 259,182 SQFT. (5.95 ACRES) |
| TOTAL EXISTING IMPERVIOUS AREA: | 0000 SQFT. (.000 ACRES) |
| <u>PROPOSED IMPERVIOUS AREA</u> | |
| PROPOSED IMPERVIOUS AREA INCREASE: | 12,725 SQFT.(0.29 ACRES) |
| COMPOUND | 10,000 SQFT. (0.23 ACRES) |
| GRAVEL DRIVE | 2,725 SQFT. (0.06 ACRES) |
| TOTAL PROPOSED PERVIOUS AREA: | 246,457 SQFT. (5.66 ACRES) |
| TOTAL PROPOSED IMPERVIOUS AREA: | 12,725 SQFT. (0.29 ACRES) |
| <u>IMPERVIOUS SURFACE AREA (ISR) & PERVIOUS SURFACE AREA (PSR)</u> | |
| PROPOSED ISR: | 12,725/ 259,182 = 4.909% |
| PROPOSED PSR: | 246,457/ 259,182 = 95.090% |

GRAPHIC SCALE



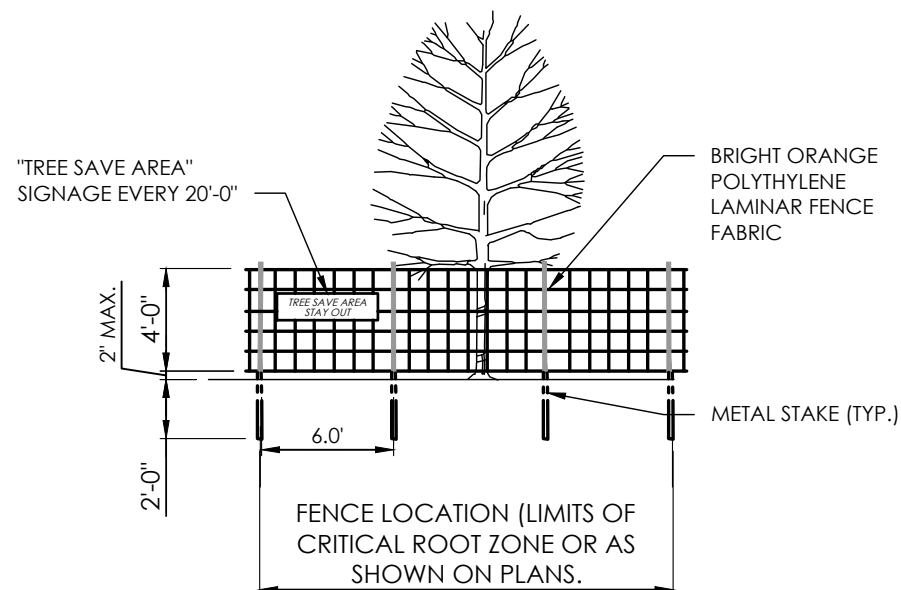
NORTH ARROW





LANDSCAPING PLAN

SCALE: 1:40



TREE PROTECTION DETAIL

SCALE: NTS

GENERAL NOTES

1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
3. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT (1) YEAR BEGINNING AT THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
4. ANY PLANT MATERIAL THAT DIES, TURNS BROWN OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, SIZE AND MEETING ALL SPECIFICATIONS.
5. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK", LATEST EDITION, REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
6. ALL BUFFERS AND TREE SAVE AREAS ARE TO BE CLEARLY IDENTIFIED WITH FLAGGING AND /OR FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE

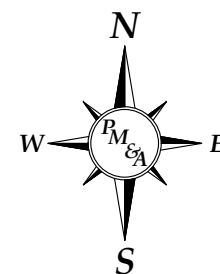
ARBORIST NOTES

1. NO SPECIMEN TREES EXISTING ON THE SITE.
2. NO PLANTING MATERIAL WILL BE STORED ON SITE.
3. THERE WILL NO BURNING OR BURIAL OF DEBRIS ON SITE.

GRAPHIC SCALE



NORTH ARROW



cTg

PMA

LOCATION:

34.072992 , -77.901794

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PROJECT:
SITE DEVELOPMENT

DESIGNER: INS
CHECKED: JTM
JOB #: 20KCG_NNC-0017

LANDSCAING
PLAN

C-12

ELECTRICAL INSTALLATION NOTES

1. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, NEC AND ALL APPLICABLE LOCAL CODES.
2. CONDUIT ROUTINGS ARE SCHEMATIC. SUBCONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED.
3. WIRING, RACEWAY AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC AND TELCORDIA.
4. ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC AND TELCORDIA.
5. CABLES SHALL NOT BE ROUTED THROUGH LADDER-STYLE CABLE TRAY RUNGS.
6. EACH END OF EVERY POWER, POWER PHASE CONDUCTOR (I.E., HOTS), GROUNDING, AND T1 CONDUCTOR AND CABLE SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2 INCH PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC & OSHA.
7. ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS. ALL EQUIPMENT SHALL BE LABELED WITH THEIR VOLTAGE RATING, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATING, AND BRANCH CIRCUIT ID NUMBERS (I.E., PANELBOARD AND CIRCUIT ID'S).
8. PANELBOARDS (ID NUMBERS) AND INTERNAL CIRCUIT BREAKERS (CIRCUIT ID NUMBERS) SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS.
9. ALL TIE WRAPS SHALL BE CUT FLUSH WITH APPROVED CUTTING TOOL TO REMOVE SHARP EDGES.
10. POWER, CONTROL, AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE CONDUCTOR (#14 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
11. SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE CONDUCTOR (#6 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2 GREEN INSULATION, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
12. POWER AND CONTROL WIRING, NOT IN TUBING OR CONDUIT, SHALL BE MULTI-CONDUCTOR, TYPE TC CABLE (#14 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION; WITH OUTER JACKET; LISTED OR LABELED FOR THE LOCATION USED, UNLESS OTHERWISE SPECIFIED.
13. ALL POWER AND POWER GROUNDING CONNECTIONS SHALL BE CRIMP-STYLE, COMPRESSION WIRE LUGS AND WIRENUTS BY THOMAS AND BETTS (OR EQUAL). LUGS AND WIRENUTS SHALL BE RATED FOR OPERATION AT NO LESS THAN 75°C (90°C IF AVAILABLE).
14. RACEWAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.
15. ELECTRICAL METALLIC TUBING (EMT) OR RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40, OR RIGID PVC SCHEDULE 80 FOR LOCATIONS SUBJECT TO PHYSICAL DAMAGE) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.
16. ELECTRICAL METALLIC TUBING (EMT), ELECTRICAL NONMETALLIC TUBING (ENT), OR RIGID NONMETALLIC CONDUIT (RIGID PVC, SCHEDULE 40) SHALL BE USED FOR CONCEALED INDOOR LOCATIONS.
17. GALVANIZED STEEL INTERMEDIATE METALLIC CONDUIT (IMC) SHALL BE USED FOR OUTDOOR LOCATIONS ABOVE GRADE.

ELECTRICAL INSTALLATION NOTES CONT.

18. RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40 OR RIGID PVC SCHEDULE 80) SHALL BE USED UNDERGROUND; DIRECT BURIED, IN AREAS OF OCCASIONAL LIGHT VEHICLE TRAFFIC OR ENCASED IN REINFORCED CONCRETE IN AREAS OF HEAVY VEHICLE TRAFFIC.
19. LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID-TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.
20. CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION-TYPE AND APPROVED FOR THE LOCATION USED. SETSCREW FITTINGS ARE NOT ACCEPTABLE.
21. CABINETS, BOXES, AND WIREWAYS SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.
22. WIREWAYS SHALL BE EPOXY-COATED (GRAY) AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARD; SHALL BE PANDUIT TYPE E (OR EQUAL); AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS.
23. EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES, AND PULL BOXES SHALL BE GALVANIZED OR EPOXY-COATED SHEET STEEL, SHALL MEET OR EXCEED UL 50, AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS
24. METAL RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL BE GALVANIZED, EPOXY-COATED, OR NON-CORRODING; SHALL MEET OR EXCEED UL 514A AND NEMA OS 1; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
25. NONMETALLIC RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS 2; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
26. THE SUBCONTRACTOR SHALL NOTIFY AND OBTAIN NECESSARY AUTHORIZATION FROM THE CONTRACTOR BEFORE COMMENCING WORK ON THE AC POWER DISTRIBUTION PANELS.
27. THE SUBCONTRACTOR SHALL PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS TO SAFEGUARD AGAINST LIFE AND PROPERTY.

GROUNDING GENERAL NOTES

- A. ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION, AND AC POWER GES'S) SHALL BE BONDED TOGETHER, AT OR BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC AND AT&T ND-00071.
- B. THE SUBCONTRACTOR IS RESPONSIBLE FOR PROPERLY SEQUENCING GROUNDING AND UNDERGROUND CONDUIT INSTALLATION AS TO PREVENT ANY LOSS OF CONTINUITY IN THE GROUNDING SYSTEM OR DAMAGE TO THE CONDUIT.
- C. METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS.
- D. CONNECTIONS TO THE GROUND BUS SHALL NOT BE DOUBLED UP OR STACKED. BACK-TO-BACK CONNECTIONS ON OPPOSITE SIDES OF THE GROUND BUS ARE PERMITTED.
- E. ALUMINUM CONDUCTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
- F. USE OF 90° BENDS IN THE PROTECTION GROUNDING CONDUCTORS SHALL BE AVOIDED WHEN 45° BENDS CAN BE ADEQUATELY SUPPORTED. IN ALL CASES, BENDS SHALL BE MADE WITH A MINIMUM BEND RADIUS OF 8 INCHES.
- G. ALL EXTERIOR GROUND CONDUCTORS BETWEEN EQUIPMENT/GROUND BARS AND THE GROUND RING, SHALL BE #2 AWG SOLID TIN-PLATED COPPER UNLESS OTHERWISE INDICATED.
- H. EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE. CONNECTIONS TO ABOVE GRADE EXTERIOR UNITS SHALL BE MADE WITH EXOTHERMIC WELDS WHERE PRACTICAL OR WITH 2 HOLE MECHANICAL TYPE BRASS CONNECTORS WITH STAINLESS STEEL HARDWARE, INCLUDING SET SCREWS.
- I. EXOTHERMIC WELDS SHALL BE PERMITTED ON TOWERS ONLY WITH THE EXPRESS APPROVAL OF THE TOWER MANUFACTURER OR THE CONTRACTORS STRUCTURAL ENGINEER.
- J. ALL WIRE TO WIRE GROUND CONNECTIONS TO THE INTERIOR GROUND RING SHALL BE FORMED USING HIGH PRESS CRIMPS OR SPLIT BOLT CONNECTORS WHERE INDICATED IN THE DETAILS.
- K. APPROVED ANTIOXIDANT COATINGS (I.E., CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
- L. ALL EXTERIOR GROUND CONNECTIONS SHALL BE COATED WITH A CORROSION RESISTANT MATERIAL.
- M. MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
- N. BOND ALL METALLIC OBJECTS WITHIN 6 FT OF THE BURIED GROUND RING WITH # 2 SOLID AWG TIN-PLATED COPPER GROUND CONDUCTOR.
- O. GROUND CONDUCTORS USED IN THE FACILITY GROUND AND LIGHTNING PROTECTION SYSTEMS SHALL NOT BE ROUTED THROUGH METALLIC OBJECTS THAT FORM A RING AROUND THE CONDUCTOR, SUCH AS METALLIC CONDUITS, METAL SUPPORT CLIPS OR SLEEVES THROUGH WALLS OR FLOORS. WHEN IT IS REQUIRED TO BE HOUSED IN CONDUIT TO MEET CODE REQUIREMENTS OR LOCAL CONDITIONS, NON-METALLIC MATERIAL SUCH AS PVC PLASTIC CONDUIT SHALL BE USED. WHERE USE OF METAL CONDUIT IS UNAVOIDABLE (E.G., STEEL CONDUIT PROHIBITED BY LOCAL CODE) THE GROUND CONDUCTOR SHALL BE BONDED TO EACH END OF THE METAL CONDUIT WITH LISTED BONDING FITTINGS.



LOCATION:

34.072992 , -77.901794

NEAREST ADDRESS:

902 THE CAPE BLVD,
WILMINGTON, NC 28412

THE CAPE BLVD.

CTG-NC 0010081

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PROJECT:

SITE DEVELOPMENT

DESIGNER:

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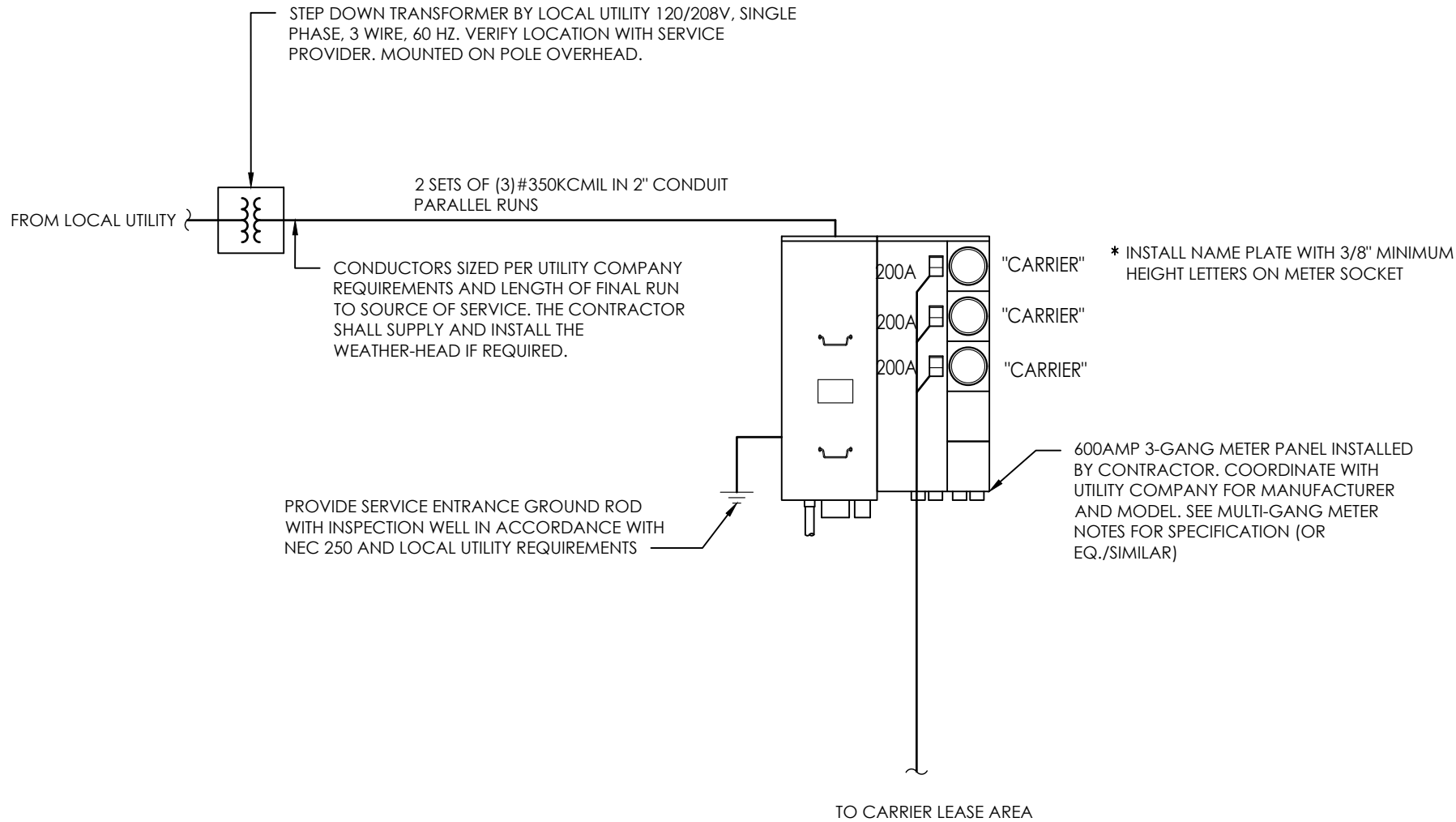
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JOB #:

20KCG_NNC-0017

ELECTRICAL
NOTES





ONE-LINE DIAGRAM

SCALE: NTS

GENERAL NOTES

1. ELECTRICAL CONTRACTOR SHALL CONTACT POWER CO. & FIBER CO. AND VERIFY EXACT ROUTING, SIZING AND CONDITIONS BEFORE TRENCHING.
2. INSTALL ALL CONDUITS & EQUIPMENT AS SPECIFIED BY POWER CO. & FIBER CO.
3. VERIFY ALL EXISTING UNDERGROUND UTILITIES BEFORE TRENCHING.
4. PROVIDE NYLON PULL STRINGS ON ALL EMPTY CONDUITS.

CONDUIT & RISER DIAGRAM NOTE

ALL RISER POLE CONDUIT SHALL BE SUPPLIED BY THE OWNER/DEVELOPER AND MUST BE ON THE JOB SITE. THE OWNER/DEVELOPER SHALL INSTALL THE BOTTOM JOINT OF GALVANIZED RIGID STEEL CONDUIT AND POWER COMPANY WILL INSTALL THE TOP TWO (2) JOINTS. THE BOTTOM JOINT OF CONDUIT AND 90 DEGREE ELBOW SHALL BE INSTALLED BY THE CONTRACTOR AFTER POWER CO. INSTALLS THE RISER POLE. THE CONTRACTOR MUST ALSO SUPPLY SIX (6) TWO HOLE RIGID STEEL STRAPS (2 STRAPS PER 10 FT JOINT) GROUND CLAMP WILL BE PROVIDED AND INSTALLED BY POWER CO.

MULTI-GANG METER NOTES: EATON MODEL # 1MP6206RRLBC

- A. THE SERVICE BOX SHALL BE LOCKABLE WITH PROVISIONS TO ACCEPT THE UTILITY LOCKS.
- B. COVERS SHALL BE FASTENED WITH MACHINE SCREWS OR BOLTS. HINGED COVERS SHALL NOT BE PERMITTED.
- C. COVERS SHALL HAVE TWO HANDLES FOR REMOVAL.
- D. THE SERVICE CABLE TAP BOX SHALL BE IN COMPLIANCE WITH UTILITY SERVICE STANDARDS.



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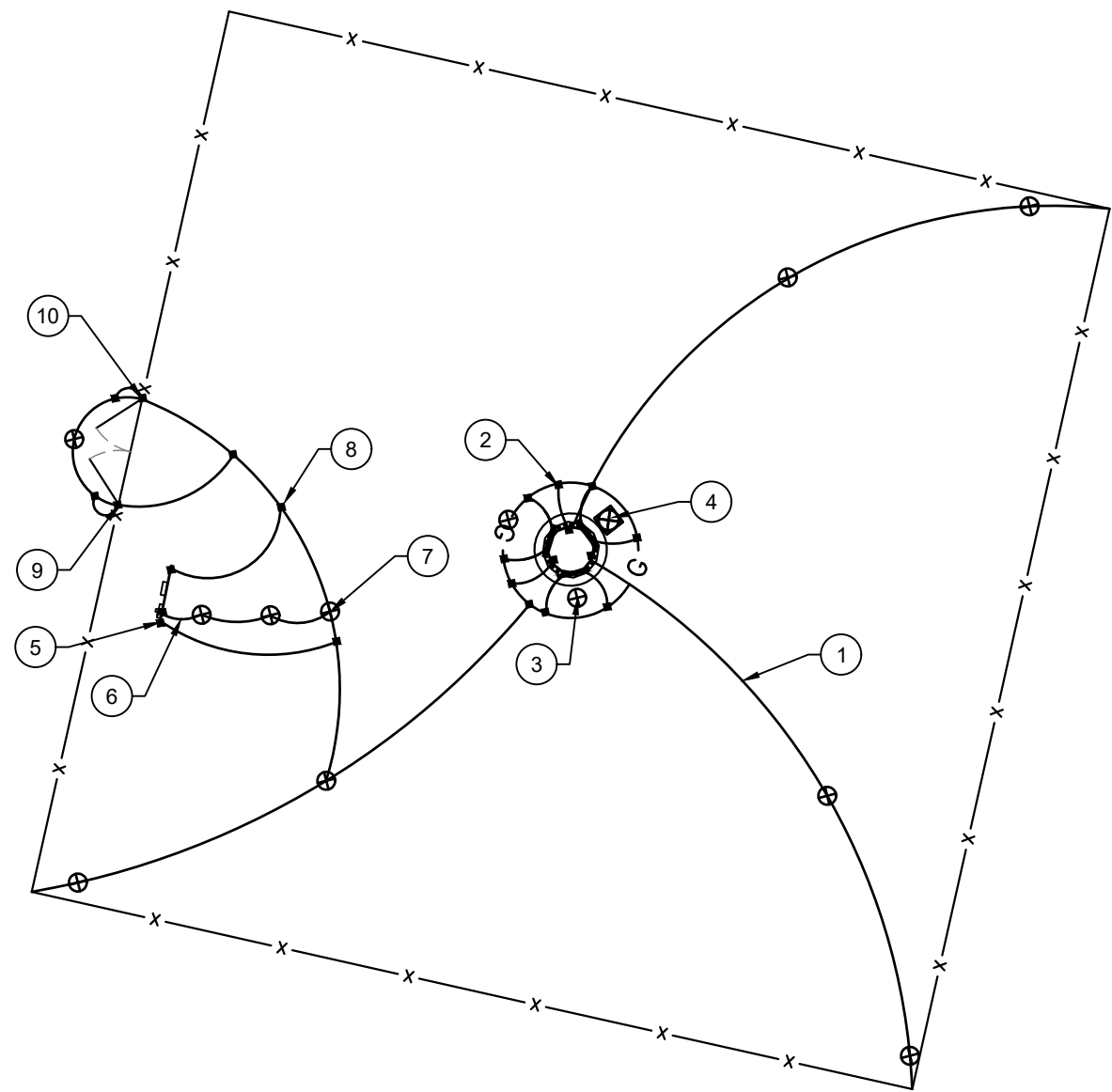
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ELECTRICAL
ONE-LINE



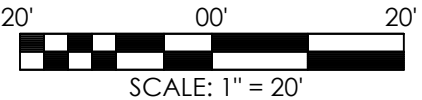
KEYED NOTES

- 1. #2 AWG BARE TINNED SOLID COPPER EQUIPMENT GROUND RING BURIED 30" BELOW GRADE OR 6" BELOW FROST LINE(WHICHEVER IS GREATER, TYP.) ALL GROUND LEADS CONNECTED TO RING SHALL BE #2 AWG BARE TINNED SOLID COPPER.
- 2. BOND EACH TOWER BASE PLATE TO TOWER GROUND RING PER TOWER MANUFACTURERS RECOMMENDATIONS(TYP.-3)
- 3. PROPOSED 5/8" X 10'-0 LONG COPPER CLAD STEEL GROUND RODS (TYP)
- 4. PROPOSED INSPECTION WELL (TYP.)
- 5. BOND H-FRAME TO GROUND RING WITH CADWELD CONNECTION (TYP. 2)
- 6. PROVIDE A #2/ 0 AWG SOLID BARE TINNED COPPER CONDUCTOR FROM GROUNDING LUG IN PROPOSED UTILITY METER AND BOND TO SERVICE ENTRANCE GROUND ROD AT A POINT CLOSE AS POSSIBLE.
- 7. GROUND SERVICE TO SERVICE GROUND ROD.
- 8. BOND CHAINLINK FENCE TO CLOSEST GROUND RING WITH CADWELD CONNECTIONS (TYP.).
- 9. BOND FENCE & GATE POSTS TO GROUND RING WITH CADWELD CONNECTIONS (TYP.).
- 10. BOND EVERY OTHER METALLIC POST TO CLOSEST GROUND RING WITH CADWELD CONNECTIONS (TYP.).

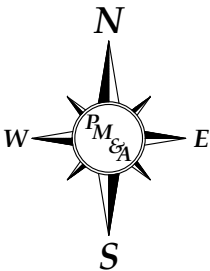
GRAPHIC LEGEND

- EXOTHERMIC WELD
- MECHANICAL CONNECTION
- ⊗ 5/8" X 10' COPPER CLAD GROUND ELECTRODE
- ⊗ 5/8" X 10' COPPER CLAD GROUND ELECTRODE W/ INSPECTION WELL

GRAPHIC SCALE



NORTH ARROW



LOCATION:

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PROJECT:

SITE DEVELOPMENT

DESIGNER:

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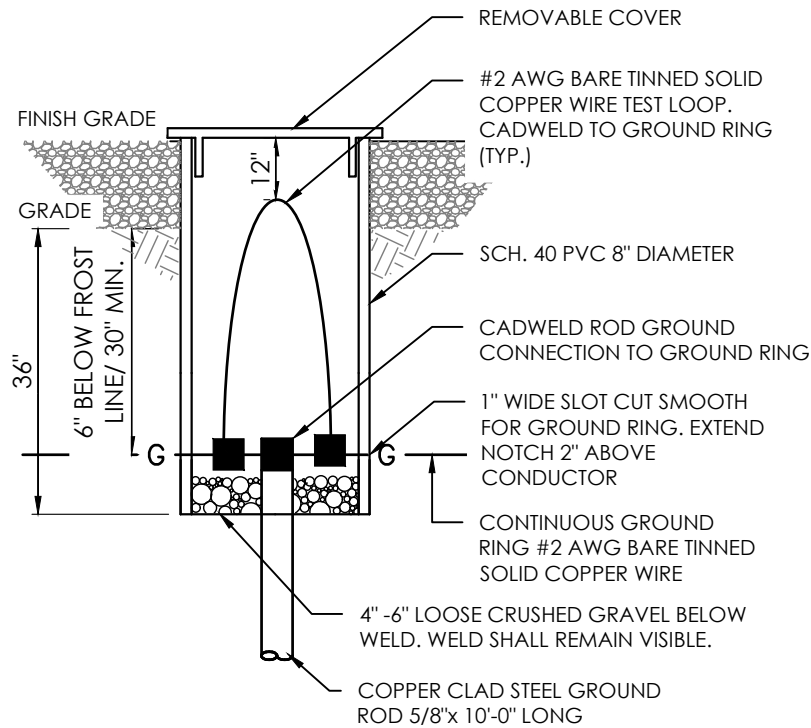
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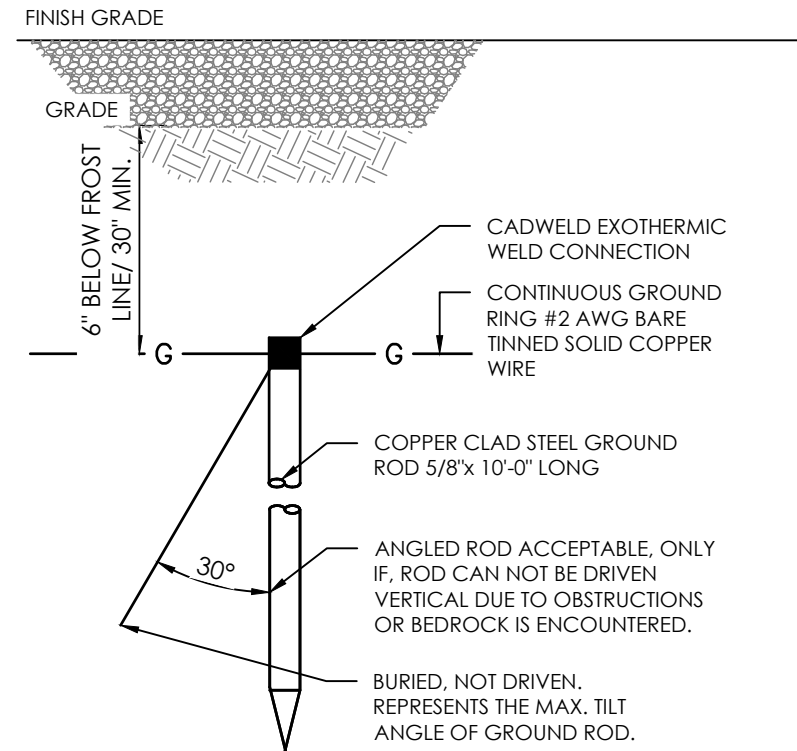
GROUNDING
PLAN



- NOTES**
- ONE TEST WELL SHALL BE PROVIDED BETWEEN THE TOWER GROUND LOOP AND THE EQUIPMENT GROUND LOOP

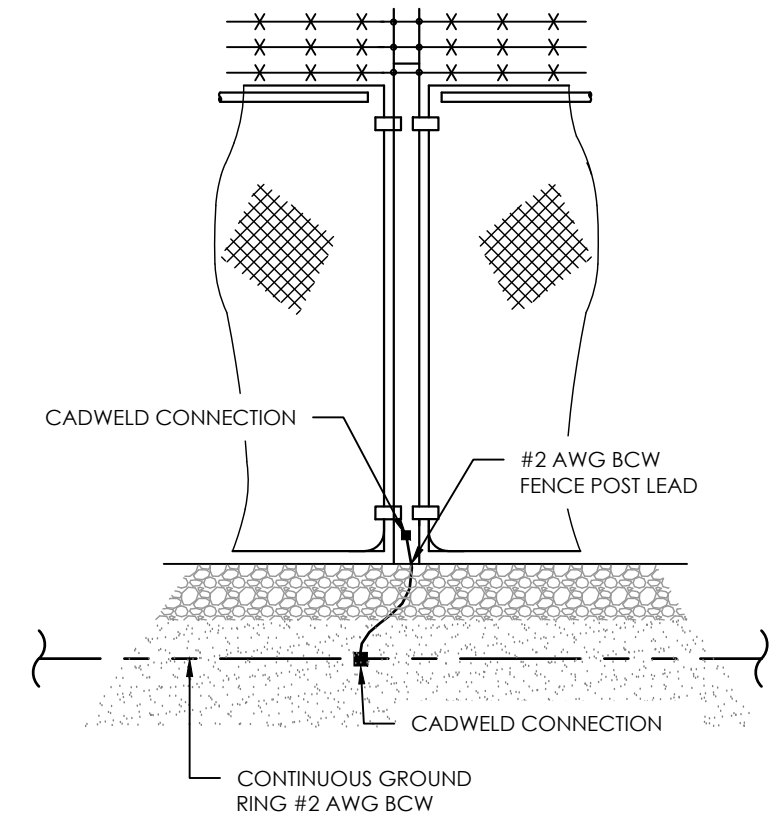
GROUND ROD INSPECTION WELL

SCALE: NTS



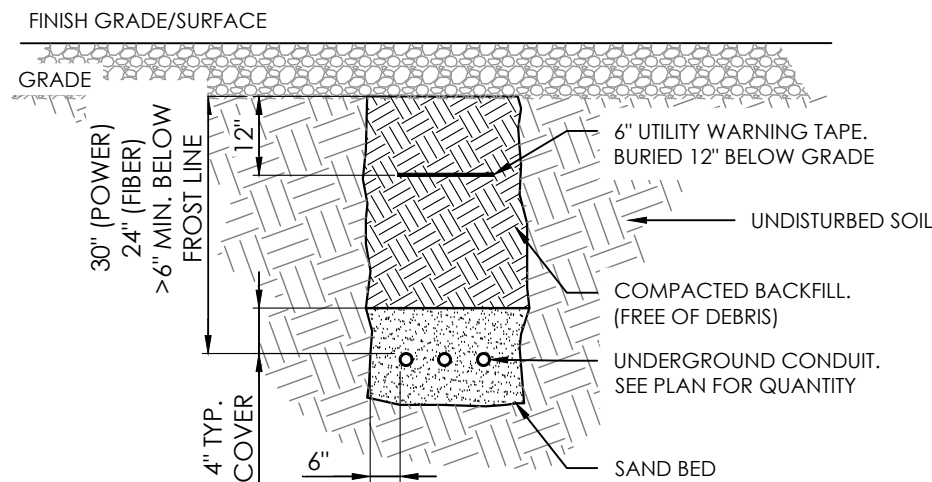
GROUND ROD DETAIL

SCALE: NTS



FENCE GROUNDING

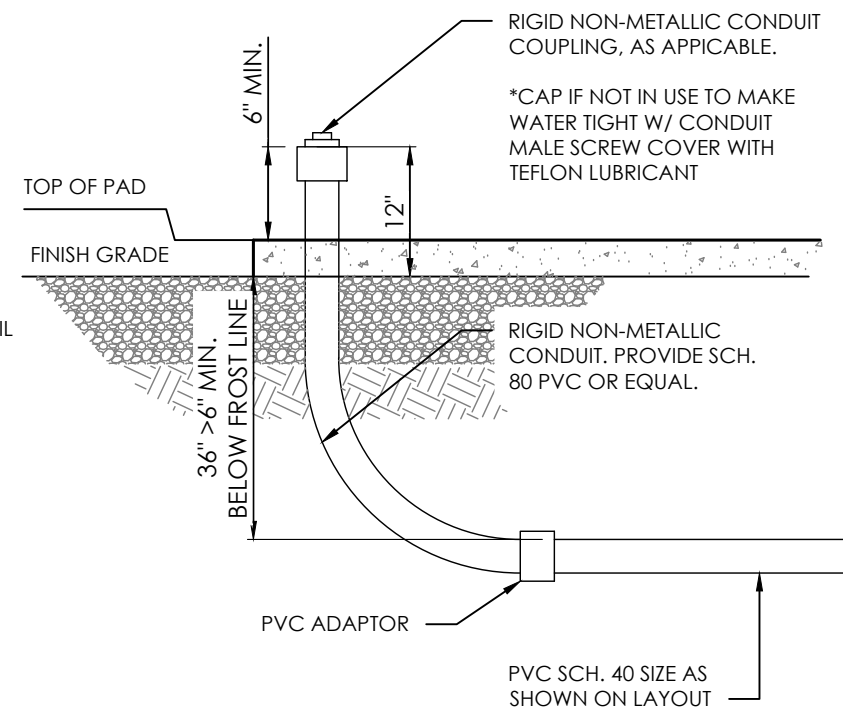
SCALE: NTS



- NOTES**
- PROVIDE PVC CONDUIT BELOW GRADE EXCEPT AS NOTED.
 - PROVIDE RGS CONDUIT BELOW PARKING LOTS & ROADWAYS.
 - 4\"/>

UNDERGROUND CONDUIT TRENCH

SCALE: NTS



- NOTES**
- PROVIDE RGS CONDUIT AND ELBOWS AT STUB-UP LOCATIONS

UNDERGROUND CONDUIT STUB-UP

SCALE: NTS

cTg

PMA

LOCATION:

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**ELECTRICAL
DETAILS**

E-4

