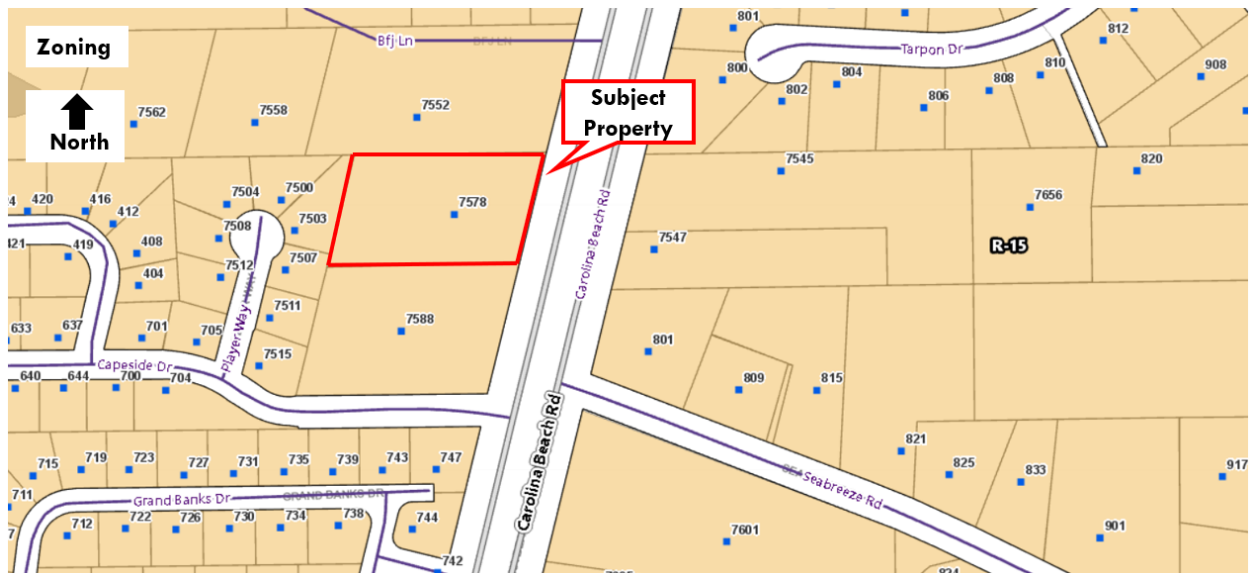


# STAFF REPORT FOR **Z21-10**

## CONDITIONAL REZONING APPLICATION

APPLICATION SUMMARY	
<b>Case Number:</b> Z21-10	
<b>Request:</b> Rezoning to a (CZD) RMF-M, Conditional Residential Multifamily Moderate Density District	
<b>Applicant:</b> Cindee Wolf with Design Solutions	<b>Property Owner(s):</b> Sanjeev B. & Hita Badhiwala
<b>Location:</b> 7578 Carolina Beach Road	<b>Acreage:</b> 1.5
<b>PID:</b> R08500-002-022-000	<b>Comp Plan Place Type:</b> Community Mixed Use
<b>Existing Land Use:</b> Undeveloped	<b>Proposed Land Use:</b> Townhome development
<b>Current Zoning:</b> R-15, Residential	<b>Proposed Zoning:</b> (CZD) RMF-M



SURROUNDING AREA		
	LAND USE	ZONING
<b>North</b>	Undeveloped	R-15
<b>East</b>	Single-Family Residential	R-15
<b>South</b>	Undeveloped	R-15
<b>West</b>	Single-Family Residential	R-15



## ZONING HISTORY

<b>April 7, 1971</b>	Initially zoned R-15 (Area 4)
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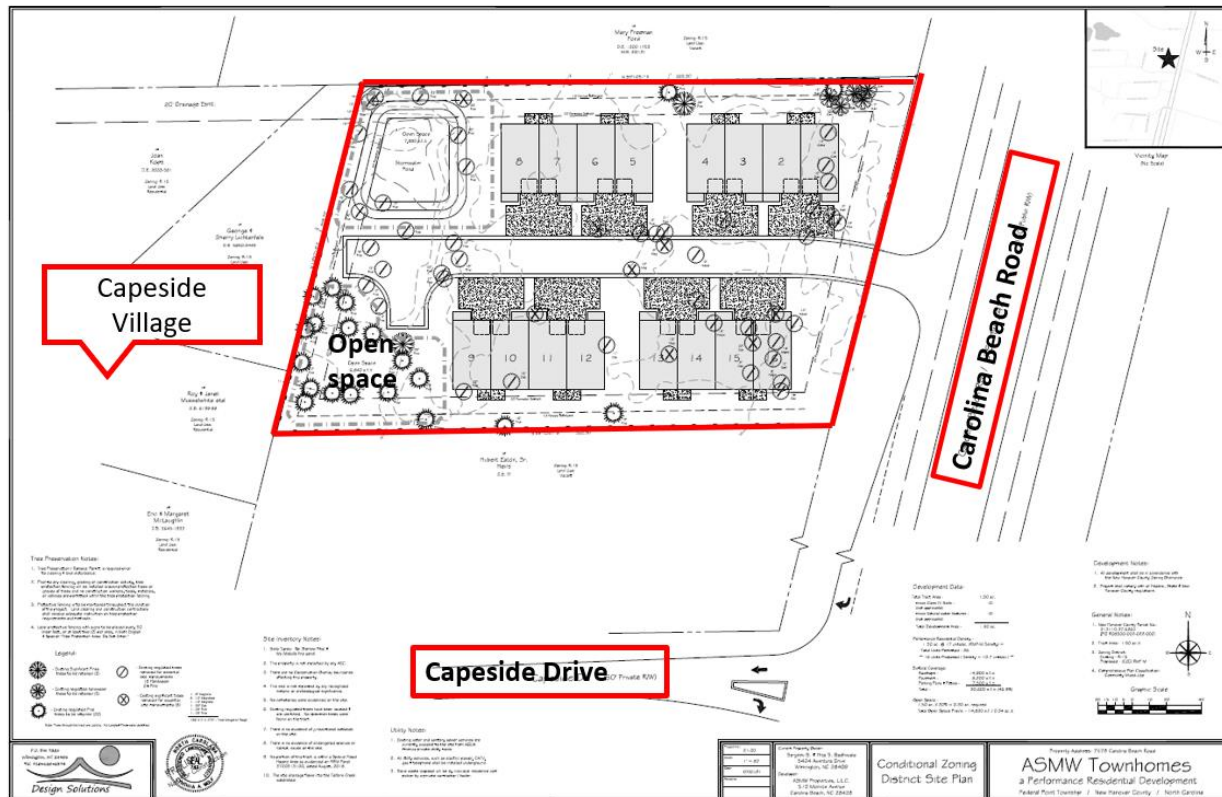
## COMMUNITY SERVICES

<b>Water/Sewer</b>	Water and sewer services are not available through CFPUA. The site is expected to be served by AQUA America when developed.
<b>Fire Protection</b>	New Hanover County Fire Services, New Hanover County Southern Fire District, New Hanover County Federal Point Station
<b>Schools</b>	Carolina Beach Elementary, Murray Middle, and Ashley High School
<b>Recreation</b>	Snows Cut Park, Veterans Park

## CONSERVATION, HISTORIC, & ARCHAEOLOGICAL RESOURCES

<b>Conservation</b>	No known conservation resources
<b>Historic</b>	No known historic resources
<b>Archaeological</b>	No known archaeological resources

## APPLICANT'S PROPOSED CONCEPTUAL PLAN



- The applicant is proposing to rezone 1.5 acres to (CZD) RMF-M, Conditional Residential Multifamily Moderate Density District.
- The applicant is proposing to construct a 16-unit townhome development. The units will be located in four buildings containing four units each.
- Primary access to the development will be provided on Carolina Beach Road, a principal arterial roadway.
- The proposal would include about 0.34 acres of open space, which exceeds the County's requirement of providing 20% open space.

## ZONING CONSIDERATIONS

- The R-15 district in this area was established in 1971. The purpose of the R-15 district is to provide lands that accommodate very low to low density residential development that can serve as a transition between very low-density residential development patterns and smaller lot, more dense residential areas of the County.
- Under the County's performance residential standards, the subject parcel would be permitted up to 4 dwelling units at a density of 2.5 du/ac. The proposed 16 units equate to an overall density of 10.7 du/ac.
- The purpose of the RMF-M, Residential Multifamily Moderate Density District is to provide lands that accommodate moderate density single-family and multi-family development. The intent of the RMF-M district is to function as a transitional district between intensive nonresidential development and higher-density residential areas. The districts is intended to provide a reasonable range of choice, type, and location of housing units.

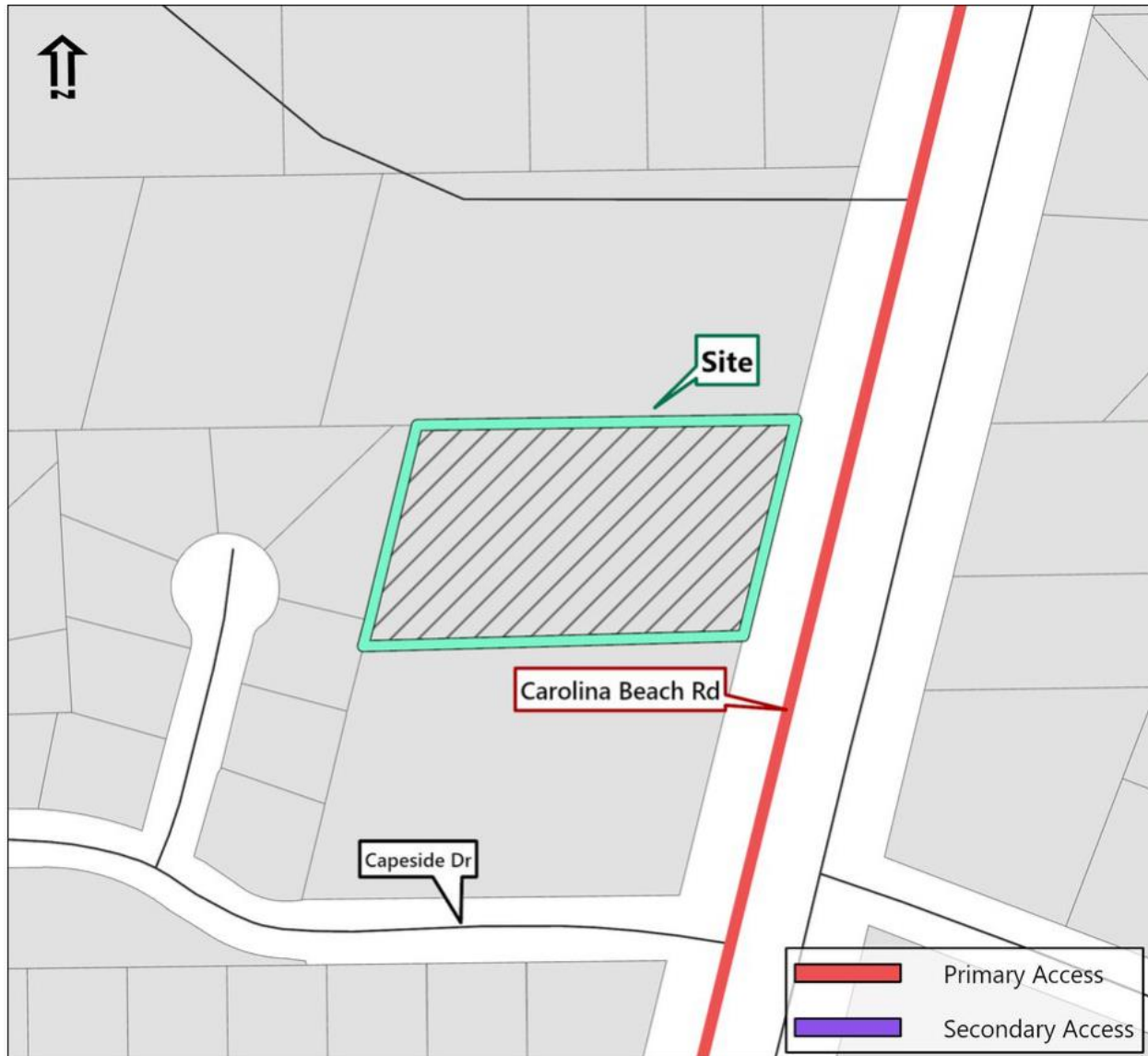


- The site is situated between low-density residential to the west, a principal arterial roadway to the east, and undeveloped property to the north and south.
- The proposal provides the required transitional buffer to the adjacent single-family zoning north, south, and west of the request.

## AREA SUBDIVISIONS UNDER DEVELOPMENT



## TRANSPORTATION



- Primary access to the development will be from Carolina Beach Road, an NCDOT maintained principal arterial.
- As currently zoned the subject site would be permitted up to 4 dwelling units at 2.5 du/ac under the performance residential standards. A development of this scale is estimated to generate fewer than 10 trips during the peak hours (8 AM/5 PM). The proposed development is estimated to generate about 10 trips during the peak hours (8 AM/12 PM), for an increase of about 7 trips in the PM peak hour. The estimated traffic generated from the site is under the 100 peak hour threshold that triggers the ordinance requirement for a Traffic Impact Analysis.

**Comparison of Potential Trip Generation Scenarios**

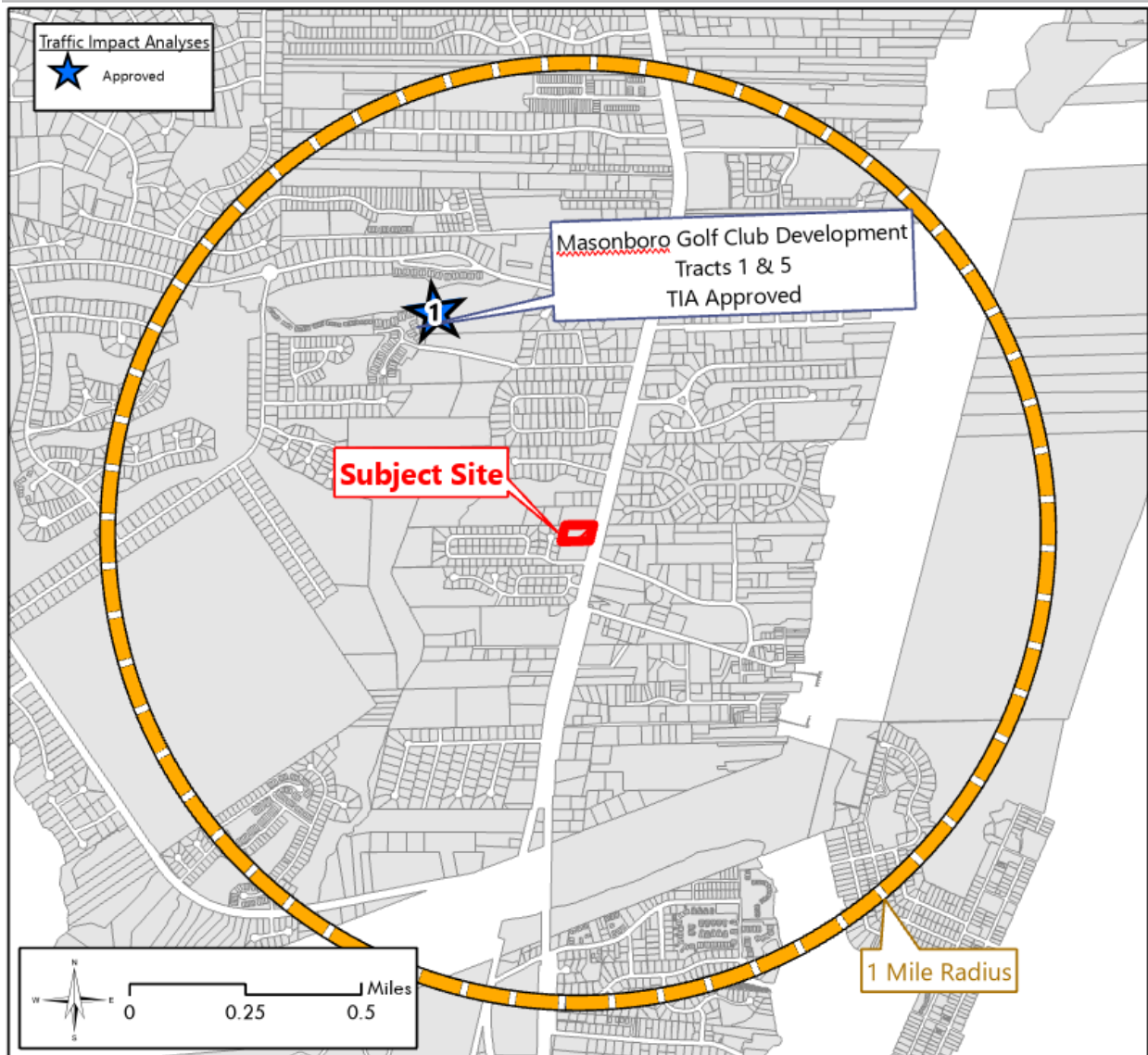
	Intensity	Approx. Peak Hour Trips
Existing Zoning (R-15)	4 single family units	8 / 5 (AM / PM)
Proposed Development (CZD)RMF-M)	16 townhome units	8 / 12 (AM / PM)
Net Change	N/A	0 / 7 (AM / PM)

- Because a TIA is not required to analyze transportation impacts, staff has provided the volume to capacity ratio for the adjacent roadway. While the volume to capacity ratio, based on average daily trips, can provide a general idea of the function of adjacent roadways, the delay vehicles take in seconds to pass through intersections is generally considered a more effective measure when determining the Level of Service of a roadway.

**NCDOT Average Annual Daily Traffic (ADT) -2019**

Road	Location	Volume	Capacity	V/C
Carolina Beach Road	7578 Carolina Beach Road	35,500 AADT	41,368	.86

## Nearby Planned Transportation Improvements and Traffic Impact Analyses



### **Nearby Traffic Impact Analyses:**

Traffic Impact Analyses are completed in accordance with the WMPO and NCDOT standards. Approved analyses must be re-examined by NCDOT if the proposed development is not completed by the build out date established within the TIA.

<b>Proposed Development</b>	<b>Land Use/Intensity</b>	<b>TIA Status</b>
Masonboro Golf Club Development	<ul style="list-style-type: none"><li>• Tract 1: 82 single-family detached housing units</li><li>• Tract 2: 59 single-family detached housing units</li></ul>	<ul style="list-style-type: none"><li>• TIA approved August 2008</li><li>• Full build 2020</li></ul>
<p>The TIA required improvements be completed at certain intersections in the area. The notable improvements consisted of:</p> <p>Provide a southbound, left-turn lane on River Road with 50-feet of storage, 50 feet of full-width deceleration and appropriate taper at SR 1576 (River Road) and The Cape Boulevard.</p>		
<b><u>Nearby Proposed Developments included within the TIA:</u></b>		
No approved developments were considered in this analysis.		
Development Status: Complete		

### **ENVIRONMENTAL**

- The property does not contain any Special Flood Hazard Areas or Natural Heritage Areas.
- The property is within the Telfairs Creek watershed.
- Per the Classification of Soils in New Hanover County for Septic Tank Suitability, soils on the property consist of Class I (slight limitation). However, the site is expected to be served by AQUA America when developed.

### **OTHER CONSIDERATIONS**

#### **SCHOOLS**

- Students living in the proposed development would be assigned to Carolina Beach Elementary, Murray Middle, and Ashley High Schools. Students may apply to attend public magnet, year-round elementary, or specialty high schools.
- Under the current zoning, 3 dwelling units would be permitted by right. A maximum of 16 units could be developed under the proposed rezoning.



- Based on the current general student generation rate\*, the increase in homes would result in approximately 3 additional students than would be generated under current zoning.
- The general student generation rate provides only an estimate of anticipated student yield as different forms of housing at different price points yield different numbers of students. Over the past four years, staff has also seen a decline in the number of students generated by new development. Student numbers remained relatively stable between 2015 and 2020 (excepting the impacts of the COVID-19 pandemic), while 14,500 new residential units were permitted across the county. In addition, the student population is anticipated to only grow by approximately 1,300 students over the next 10 years based on the recent New Hanover County Schools Facility Needs Study.

<b>Development Type</b>	<b>Intensity</b>	<b>Estimated Student Yield (current general student generation rate)*</b>
Existing Development	Undeveloped	Approximate**Total: 0 (0 elementary, 0 middle, 0 high)
Typical Development under Current R-15 Zoning	3 residential units	Approximate**Total: 1 (0 elementary, 0 middle, 0 high)
Proposed (CZD) RMF-M Zoning	16 residential units	Approximate**Total: 4 (1 elementary, 1 middle, 1 high)

\*The current general student generation rate was calculated by dividing the projected New Hanover County public school student enrollment for the 2021-2022 school year by the number of dwelling units in the county. Currently, there are an average of 0.22 public school students (0.09 for elementary, 0.05 for middle, and 0.08 for high) generated per dwelling unit across New Hanover County. These numbers are updated annually and include students attending out-of-district specialty schools, such as year-round elementary schools, Isaac Bear, and SeaTech.

\*\*Because the student generation rate often results in fractional numbers, all approximate student generation yields with a fraction of 0.5 or higher are rounded up to a whole number and yields with a fraction of less than 0.5 are rounded down. This may result in student numbers at the elementary, middle, and high school levels not equaling the approximate total.

- Given the size of the proposed development, it may have a build-out date within 5 years, so staff has outlined existing school capacity to provide a general impact of the potential impact on public schools. These numbers do not reflect any future capacity upgrades that may occur over the next five years or trends in student population changes.

**School Enrollment\* and Capacity\*\* (2021-2022 School Year)**

Level	Total NHC Capacity	School	Enrollment of Assigned School	Capacity of Assigned School w/ Portables	Capacity of Assigned School	Funded or Planned Capacity Upgrades
Elementary	95%	Carolina Beach	401	373	108%	None
Middle	108%	Murray	853	848	101%	None
High	100%	Ashley	1,990	1,896	105%	None

\* Enrollment is based on the New Hanover County Schools enrollment that was projected for the 2021-2022 school year.

\*\*Capacity calculations were determined based on the projected capacities for the 2021-2022 school year, and funded or planned capacity upgrades were those included in the Facility Needs Study presented by New Hanover County Schools to the Board of Education in January 2021. This information does not take into account flexible scheduling that may be available in high school settings, which can reduce the portion of the student body on campus at any one time.

- The recent facility needs survey that has been prepared by Schools staff indicates that, based on NC Department of Public Instruction (DPI) student growth projections and school capacity data, planned facility upgrades, combined with changes to student enrollment patterns, will result in adequate capacity district wide over the next five years if facility upgrades are funded.

<b>NEW HANOVER COUNTY STRATEGIC PLAN</b>
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- One of the goals of the New Hanover County Strategic Plan for 2018-2023 is to encourage the development of complete communities in the unincorporated county by increasing housing diversity and access to basic goods and services.
- The proposed RMF-M CZD zoning district would allow for an increase in housing diversity and would allow those residents to utilize existing goods and services within one mile of the subject property.
- The predominant housing type in the area is single family detached at 80%. Under the proposed RMF-M district the site would allow for single family attached (townhomes) and increase housing type diversity by reducing the percentage of single family detached (80% to 79%) and increasing the percentage of single family attached residences (9.5% to 10.5%).
- The subject property is located in the Snows Cut community area, where 37% of residents currently live within one-mile of a community facility (public park, school, library etc.). The proposed RMF-M district would increase the number of residences within one-mile of a community facility (36.5% to 37%).

## REPRESENTATIVE DEVELOPMENTS

### Representative Developments of R-15



Cottage Grove



Clay Crossing

### Representative Developments of RMF-M



Woodlands at Echo Farms



Jumpin Run

#### **Context and Compatibility**

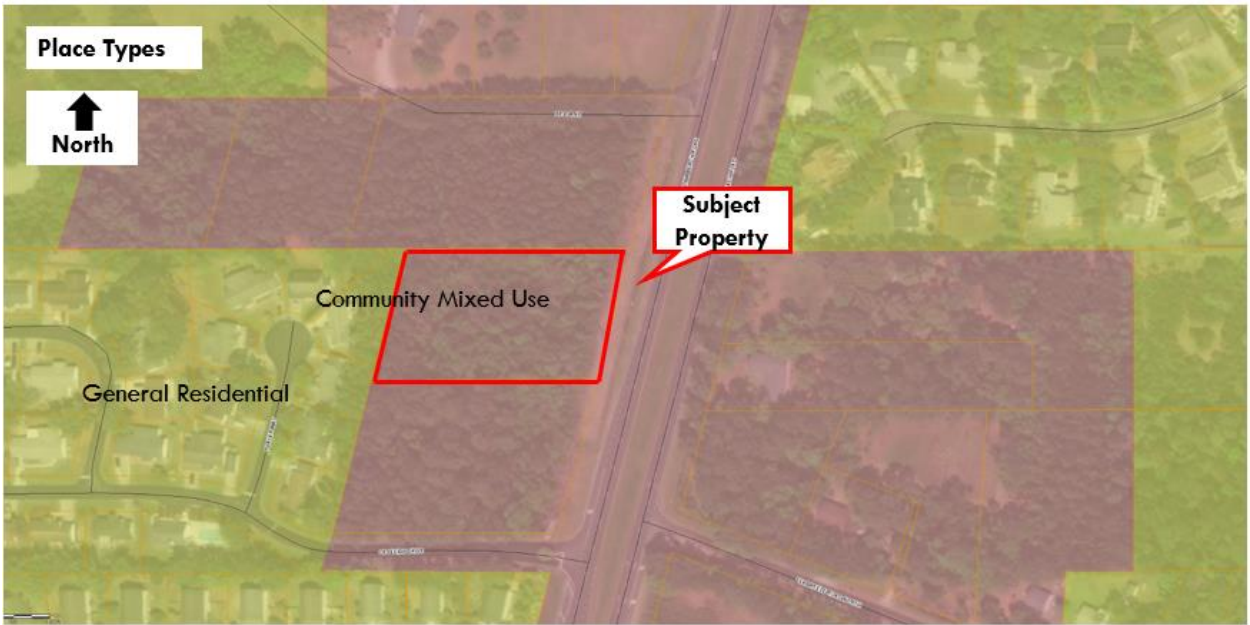
- While the area was zoned for low density housing in the early 1970s, the 2016 Comprehensive Plan recommends a mixture of commercial uses and residential densities ranging from 8 to 15 dwelling units per acre.
- The subject property is one of several undeveloped tracts along Carolina Beach Road, a major road corridor. The property is located between low density residential development and vacant property, prime for moderate to high residential density and mixed use



projects. The project also takes direct access off Carolina Beach Road, a principal arterial roadway.

**2016 COMPREHENSIVE PLAN**

The New Hanover County Future Land Use Map provides a general representation of the vision for New Hanover County’s future land use, as designated by place types describing the character and function of the different types of development that make up the community. These place types are intended to identify general areas for particular development patterns and should not be interpreted as being parcel specific.



<b>Future Land Use Map Place Type</b>	Community Mixed Use
<b>Place Type Description</b>	Focuses on small-scale, compact, mixed use development patterns that serve all modes of travel and act as an attractor for county residents and visitors. Types of appropriate uses include office, retail, mixed use, recreational, commercial, institutional, and multi-family and single-family residential.



<p><b>Analysis</b></p>	<p>The proposed (CZD) RMF-M development is located between low-density residential, a principal arterial roadway, and undeveloped property.</p> <p>In general, the Comprehensive Plan designates areas along roadways for higher residential densities and a mix of uses.</p> <p>The proposed (CZD) RMF-M zoning would provide a transition in density and intensity between future Community Mixed Use development along Carolina Beach Road and the established single-family neighborhood, west of the subject site. Providing options for alternative housing types in direct relationship to single-family detached development is one of the stated intents for this district.</p> <p>The proposal is also in line with the preferred density range for the Community Mixed Use place type. The Community Mixed Use place type envisions moderate density residential development up to 15 dwelling units per acre. The applicant is proposing 16 units, for an overall density of 10.7 units per acre.</p>
<p><b>Consistency Recommendation</b></p>	<p>The proposed (CZD) RMF-M, Conditional Residential Multifamily Moderate Density District rezoning is generally <b>CONSISTENT</b> with the intent of the 2016 Comprehensive Plan because this zoning district is intended to provide alternative housing types to single-family detached development, the project provides for the types and mixture of uses recommended in the Community Mixed Use place type, the townhomes will provide a transition between a major corridor and exiting low density housing, and because the proposal will increase the range of housing types in the area.</p>

## STAFF RECOMMENDATION

**Staff recommends approval** and suggests the following motion:

I move to **APPROVE** the proposed rezoning to a (CZD) RMF-M district. I find it to be **CONSISTENT** with the purposes and intent of the Comprehensive Plan because the project provides for the types and mixture of uses recommended in the Community Mixed Use place type, the townhomes will provide a transition between a major corridor and exiting low density housing, and because the proposal will increase the range of housing types in the area. I also find **APPROVAL** of the rezoning request is reasonable and in the public interest because the proposal supports the County's goals of providing for a range of housing types and opportunities for households of different sizes and income levels.

**(Optional)** Note any conditions to be added to the district.

### Alternative Motion for Denial

I move to **DENY** the proposed rezoning to a (CZD) RMF-M district. While I find it to be **CONSISTENT** with the purposes and intent of the Comprehensive Plan because the project provides for the types and mixture of uses recommended in the Community

Mixed Use place type, the residential densities are in-line with those recommended for the property, and the project will provide an appropriate transition between a major road corridor and existing low density housing, I find **DENIAL** of the rezoning request is reasonable and in the public interest because the proposal is not consistent with the desired character of the surrounding community and the density will adversely impact the adjacent neighborhoods.